



UNIVERSITY MEDICAL CENTER FIRST FLOOR EAST TOWER NICU RENOVATION PROPOSAL ITEM #2

602 INDIANA AVENUE
LUBBOCK, TX 79415

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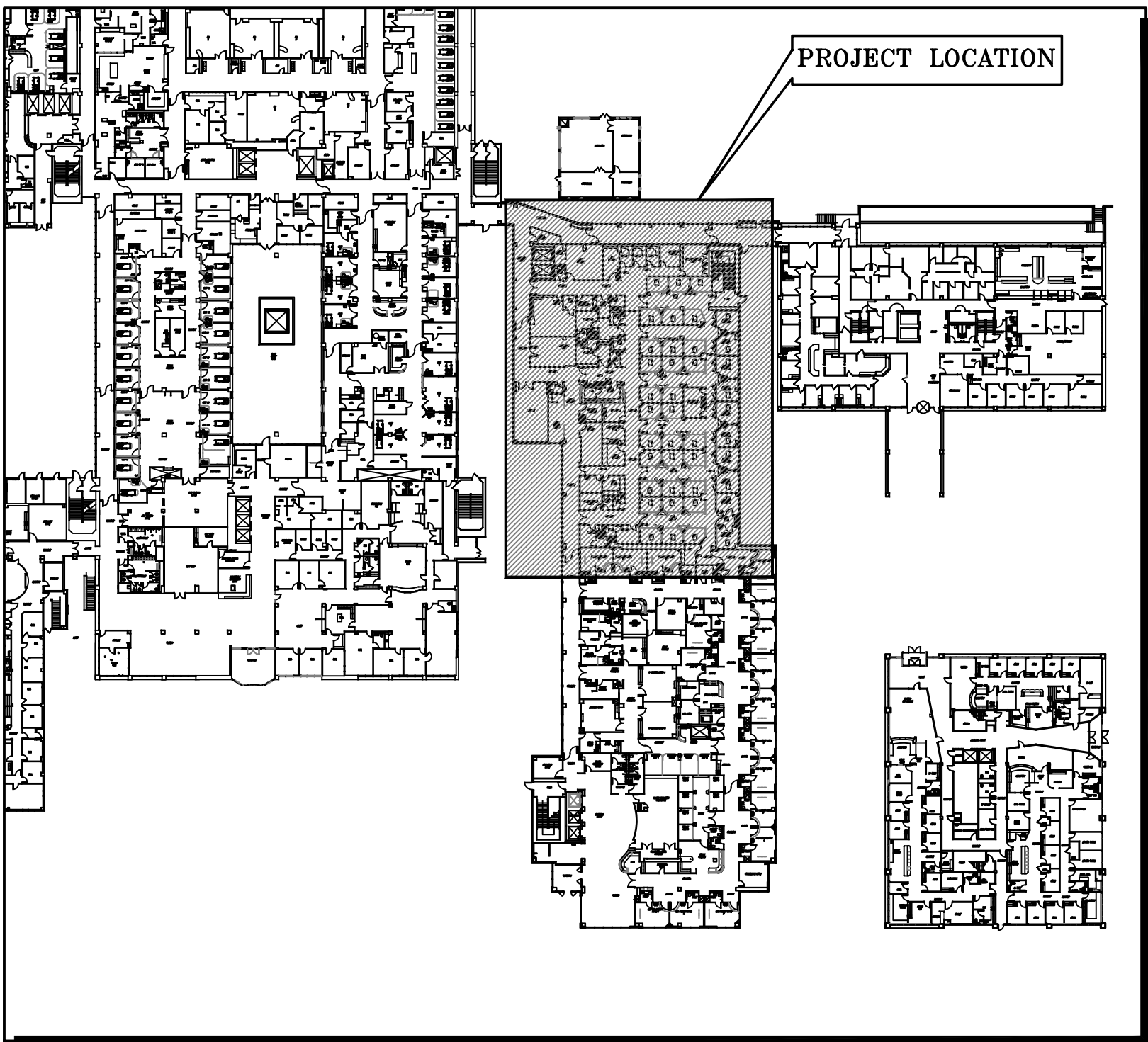
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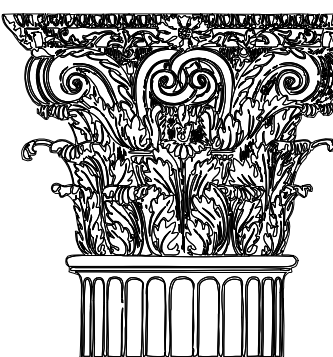
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UMC EAST TOWER FIRST FLOOR LOCATION PLAN
NOT TO SCALE



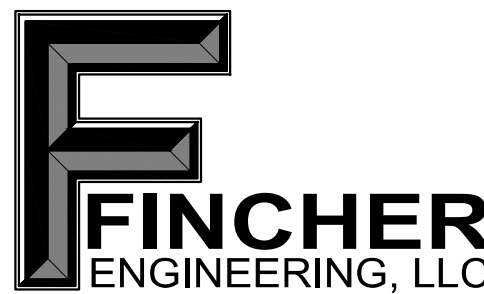
CONDRA Y



DESIGN GROUP

ARCHITECTURE
& INTERIOR DESIGN

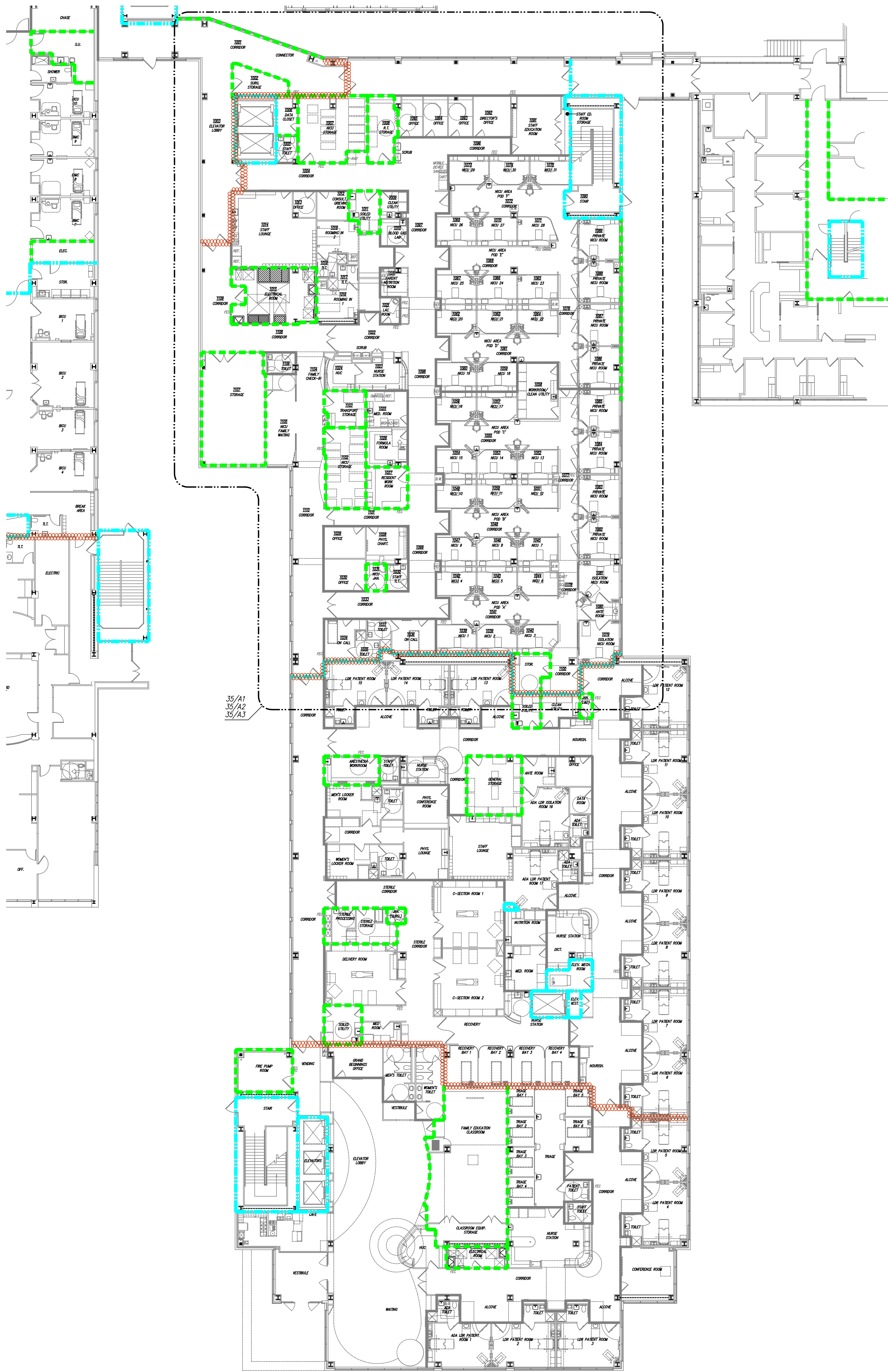
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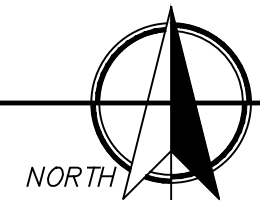
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UNIVERSITY MEDICAL CENTER
FIRST FLOOR EAST TOWER
NICU RENOVATION
PROPOSAL ITEM #2

CDG PROJ NO. 22419
DATE: 05/01/2025



35/CR1 FIRST FLOOR-LIFE SAFETY PLAN & REFERENCE PLAN
SCALE: 1/16" = 1'-0"



PROJECT INFORMATION

OWNER: UMC HEALTH SYSTEM
602 INDIAN AVENUE
LUBBOCK, TX

BUILDING CODES: 2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL ELECTRICAL CODE
2020 NATIONAL ELECTRICAL CODE
2012 TEXAS ACCESSIBILITY STANDARDS
2012 TEXAS HEALTH AND HUMAN SERVICES
COMMISSION REGULATIONS
2012 NFPA 101
2012 NFPA 99

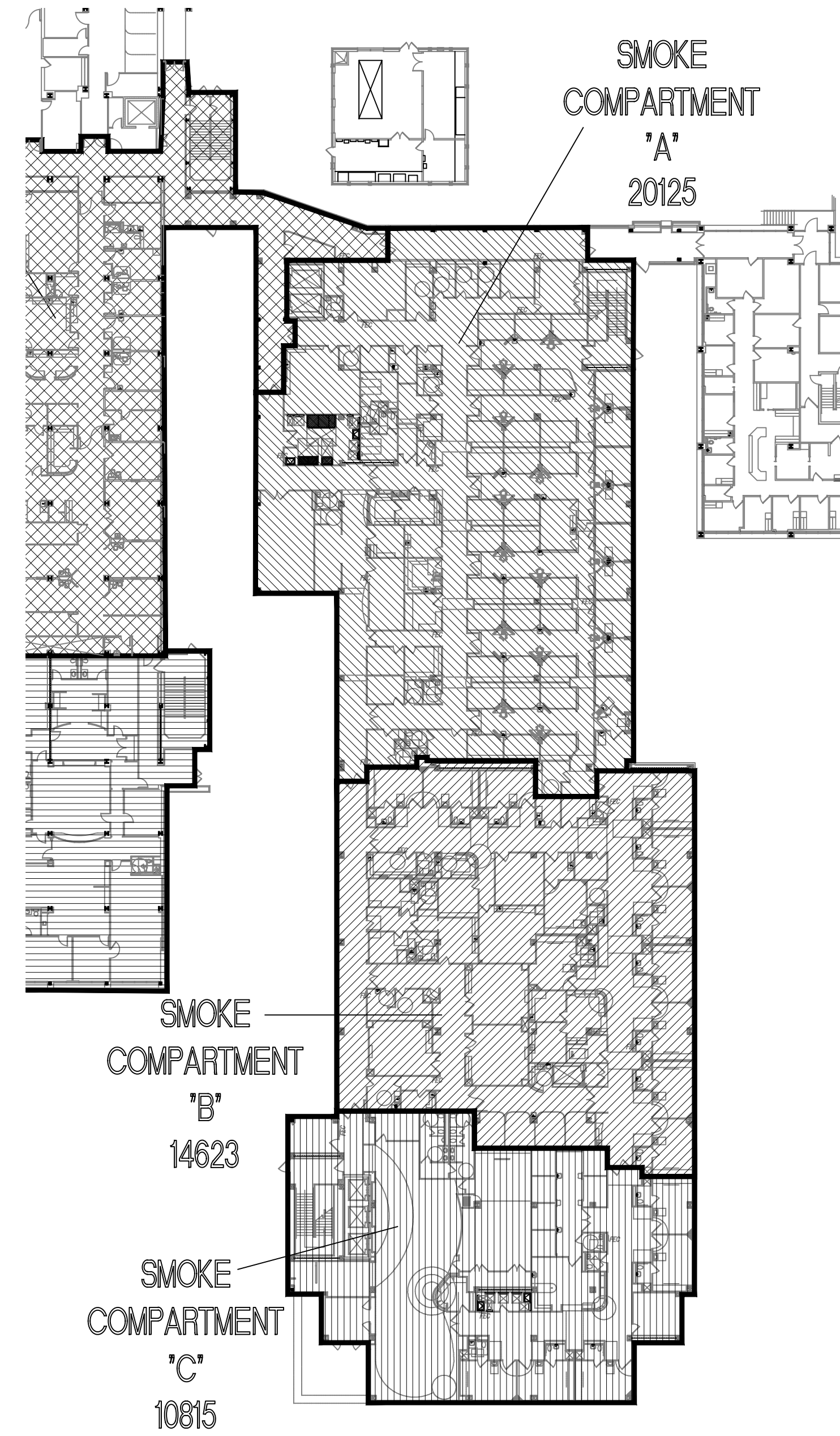
OCCUPANCY: INSTITUTIONAL GROUP I-2
CONSTRUCTION TYPE: TYPE I-A FULLY SPRINKLED

SCOPE OF WORK: 13,844 S.F.
FIRST FLOOR - EAST TOWER

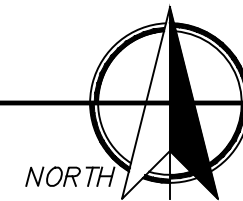
LIFE SAFETY PLAN LEGEND

FIRE-RATED ASSEMBLY LEGEND. AREAS HAVE BEEN SHOWN OUTSIDE THE AREA OF WORK FOR REFERENCE ONLY. THE CONTRACTOR'S RESPONSIBILITY FOR CONSTRUCTION OR MAINTENANCE OF FIRE RATED ASSEMBLIES IS LIMITED ONLY TO THE AREAS OF WORK.

- 2-HOUR FIRE-RATED ASSEMBLY
FRAME NEW WALLS TO DECK AND SEAL TOP AND BOTTOM JOINTS WITH UL RATED JOINT SYSTEMS. AT EXISTING WALLS, EXTEND TO DECK ABOVE AS NECESSARY AND SEAL JOINTS. ALL PENETRATIONS, NEW OR EXISTING, ARE TO BE SEALED WITH UL RATED SYSTEMS.
- 1-HOUR FIRE RATED ASSEMBLY
FRAME NEW WALLS TO DECK AND SEAL TOP AND BOTTOM JOINTS WITH UL RATED JOINT SYSTEMS. AT EXISTING WALLS, EXTEND TO DECK ABOVE AS NECESSARY AND SEAL JOINTS. ALL PENETRATIONS, NEW OR EXISTING, ARE TO BE SEALED WITH UL RATED SYSTEMS.
- SMOKE BARRIER
1-HOUR FIRE-RATED ASSEMBLY AS DESCRIBED ABOVE.
- NON-RATED SMOKE PARTITION
WALL PARTITION THAT IS NOT FIRE-RATED AND DOES NOT EXTEND TO STRUCTURAL DECK ABOVE. WALL MAY TERMINATE 6" ABOVE CEILING. MUST PREVENT PASSAGE OF SMOKE.
- DOOR APPROACH AND CLEARANCE



10/CR1 FIRST FLOOR-SMOKE COMPARTMENT DIAGRAM
SCALE: NOT TO SCALE



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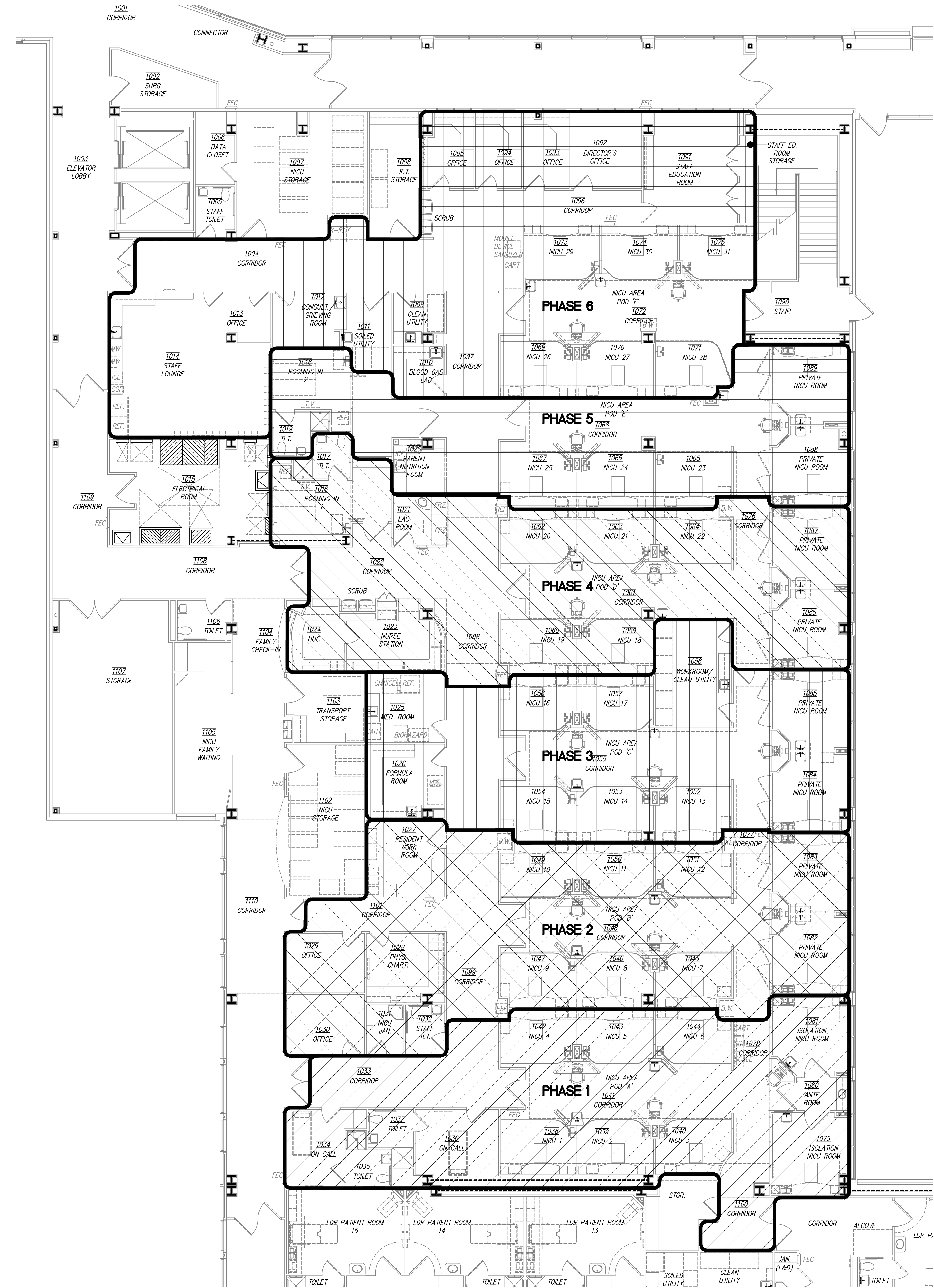


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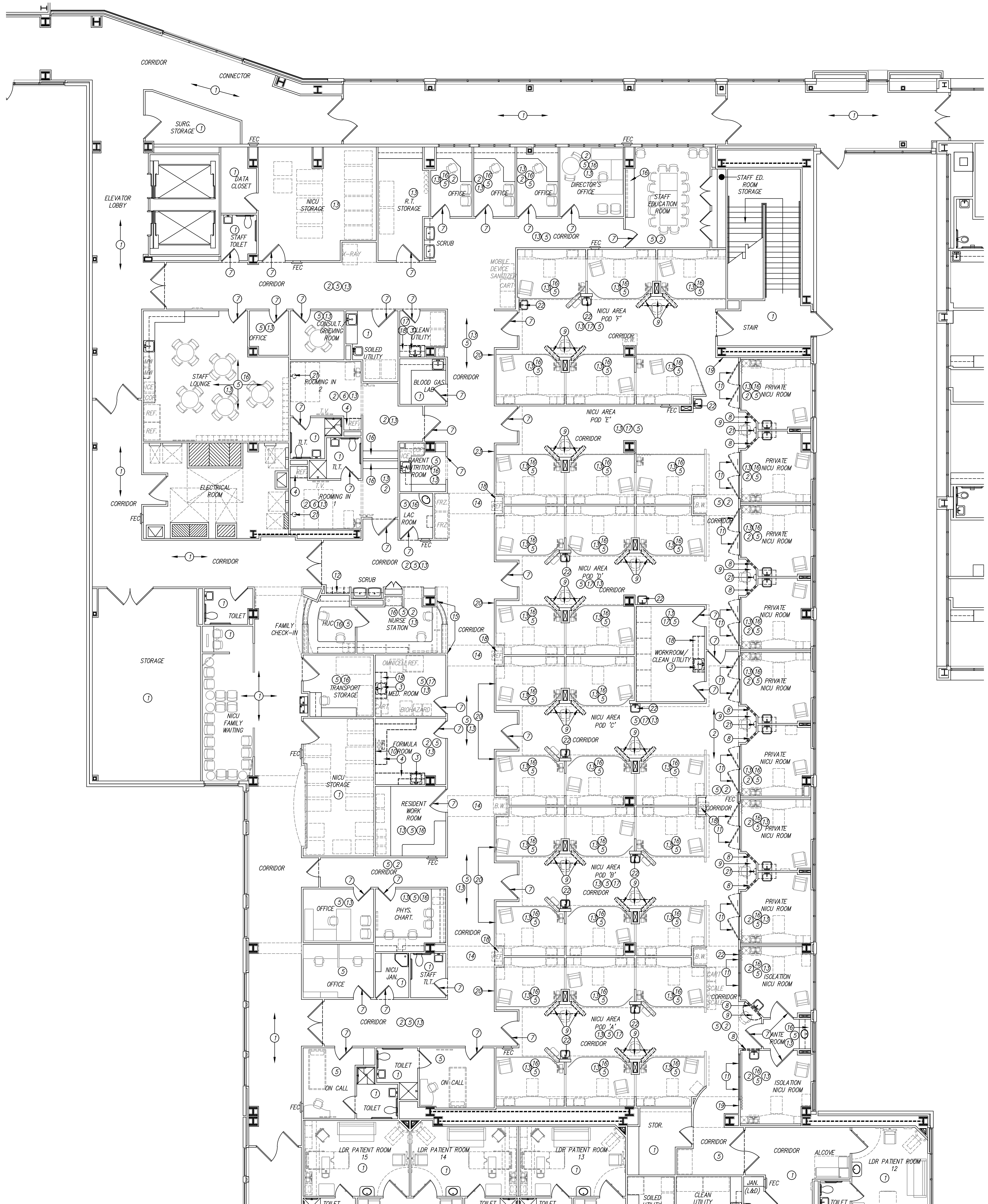
REVISIONS:

PROJECT NO. 22419
DATE: 05/01/2025



35/CR2 FIRST FLOOR-PHASE PLAN
SCALE: 1/8" = 1'-0"





35/A1 FIRST FLOOR-DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- 1). REFER TO MPE WHERE APPLICABLE, FOR ADDITIONAL DEMOLITION INFORMATION.
- 2). ON ALL WALLS SCHEDULED TO REMAIN TO BE REWORKED OR RECEIVE NEW FINISH, CONTRACTOR SHALL REMOVE ANY EXISTING EQUIPMENT, DECORATIONS, DEVICES, ETC. AND SALVAGE FOR REINSTALLATION AS DIRECTED BY OWNER. CONTRACTOR IS TO PATCH BACK ANY HOLES OR ABANDONED ANCHORS AND RE-TEXTURE WALLS IF NECESSARY, AND PREP FOR NEW FINISH AS SCHEDULED.
- 3). NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- 4). CONTRACTOR SHALL PATCH AND REPAIR WALLS, FLOOR, AND CEILINGS AT ALL INTERSECTIONS WHERE WALLS ARE REMOVED OR WHERE DEVICES, EQUIPMENT, ACCESSORIES, ETC. ARE REMOVED. PREP WALLS TO RECEIVE NEW FINISH. NEW CONSTRUCTION SHOULD MATCH ADJACENT FINISHES AND MATERIALS AND PROVIDE SMOOTH AND COMPLETE TRANSITION.
- 5). ALL ITEMS INDICATED TO BE SALVAGED ARE TO BE VERIFIED WITH THE OWNER. IF OWNER DECLINES SALVAGE, CONTRACTOR SHALL REMOVE ITEMS FROM THE SITE AND DISPOSE OF THEM PROPERLY.
- 6). ALL ABANDONED PIPING, CONDUIT, WIRING, ETC. IS TO BE REMOVED BACK TO THE SOURCE, I.E. FURTHER JOINT WHERE NOTHING ELSE IS SERVED OFF OF THE SAME FEED.
- 7). CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF ANY PLUMBING FIXTURES, ELECTRICAL ITEMS, TOILET ACCESSORIES, WALL-HUNG EQUIPMENT, ETC. WHERE WALLS ARE TO RECEIVE NEW FINISHES. ALL ITEMS ARE TO BE REINSTALLED IN COMPLIANCE WITH T.A.S. REQUIREMENTS.
- 8). VERIFY ALL FIREPROOFING AROUND COLUMNS REMAINS AT REQUIRED THICKNESS.
- 9). REMOVE/REPAIR ANY ABANDONED WALL ANCHORS OR HOLES FOR NEW FINISH.
- 10). PATCH BACK AND REPAIR ALL WALLS, CEILING AND FLOORS WHERE DAMAGED DUE TO FIXTURE OR DEVICE REMOVAL/RELOCATION. MATCH MATERIAL OR EXISTING SURROUNDING CONDITIONS.
- 11). ALL EXISTING FLOORING TO BE REMOVED AS REQUIRED TO ACCOMMODATE NEW WORK. REFER TO FINISH SCHEDULE.
- 12). REPAIR GRID AND REPLACE CEILING TILES WHERE WALLS, FIXTURES OR DEVICES ARE REMOVED. REPLACE ALL DAMAGED CEILING TILES IN THE AREA OF WORK. GRID SECTIONS ARE TO BE REPLACED BACK TO NEAREST 4' SECTION AT A MINIMUM. NO SPLICES.
- 13). REPLACE DAMAGED CEILING GRID OR HARD CEILING WHERE WALLS ARE REMOVED. MATCH EXISTING.
- 14). REMOVE AND REPLACE ANY EXISTING CEILING TILE AND GRID IN AREAS TO REMAIN AS EXISTING WHERE NECESSARY TO ACCOMMODATE ABOVE CEILING WORK.
- 15). REMOVE SPRINKLER HEADS AND OTHER IN CEILING EQUIPMENT IN EXISTING AREAS THAT CALL FOR A NEW CEILING. REPLACE DEVICES AS INDICATED. REFER TO MPE SHEETS FOR MORE INFORMATION.
- 16). COORDINATE REMOVAL OR RELOCATION OF EXISTING EQUIPMENT WITH OWNER.

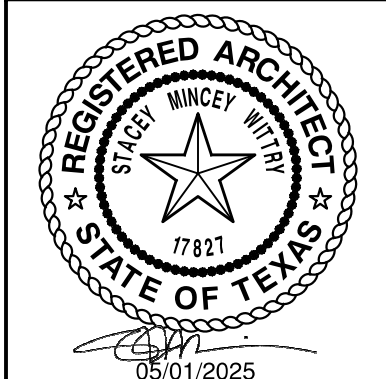
KEYED NOTES

- DESIGNATED BY: ①
- 1 NO WORK IN THIS AREA.
 - 2 PREP ALL WALLS SCHEDULED TO REMAIN TO RECEIVE NEW PAINT. REMOVE ANY ABANDONED ANCHORS, REPAIR ANY GOUGES OR HOLES AND RE-TEXTURE WALLS AS REQUIRED TO MATCH EXISTING TEXTURED WALLS. REFER TO FINISHED SCHEDULE.
 - 3 REMOVE PLUMBING FIXTURE(S) AND ACCESSORIES. REFER TO MPE FOR MORE INFORMATION.
 - 4 REMOVE EXISTING MILLWORK IN ITS ENTIRETY.
 - 5 REMOVE EXISTING FLOORING AND WALL BASE IN THEIR ENTIRETY. FLOAT AND PREP SLAB TO RECEIVE NEW FINISH AS SCHEDULED.
 - 6 EXISTING FLOORING TO REMAIN. REMOVE AND REPLACE WALL BASE. REFER TO FINISH SCHEDULE.
 - 7 PREP DOOR FRAME FOR NEW PAINT. EXISTING DOOR TO REMAIN. PAINT METAL FRAME VISION PANEL AS NEEDED.
 - 8 REMOVE EXISTING WINDOW IN ITS ENTIRETY. PREP EXISTING OPENING TO RECEIVE NEW WINDOW WITH INTEGRAL BLINDS. PATCH BACK, REPAIR DAMAGE AROUND WINDOW OPENING AND PREP FOR NEW PAINT TO MATCH EXISTING FINISH.
 - 9 REMOVE SOLID SURFACE COUNTERTOPS. PREP LOW WING WALLS TO ACCOMMODATE NEW COUNTERTOP. PATCH, REPAIR AND CLEAN WALLS AS NEEDED TO ACCOMMODATE NEW PAINT.
 - 10 REMOVE AND CAP OFF EXISTING MED GASES. REFER TO MPE. DRAWINGS FOR MORE INFORMATION. PREP WALL FOR NEW PAINT.
 - 11 REMOVE EXISTING VINYL ON GLASS. CONTRACTOR TO CLEAN AND PREP SURFACE FOR NEW GRAPHIC FILM BY VENDOR.
 - 12 REMOVE EXISTING METAL LOCKERS. SALVAGE FOR OWNER REUSE.
 - 13 REMOVE AND REPLACE LIGHT FIXTURE. REFER TO ELECTRICAL SHEETS FOR MORE INFORMATION. EXISTING HARD CEILING AND/OR CEILING GRID AND TILES TO REMAIN. REPLACE CEILING TILES AS NEEDED.
 - 14 PREP EXISTING FURDOWN TO RECEIVE NEW PAINT.
 - 15 PREP EXISTING MILLWORK TO ACCOMMODATE NEW GRAPHIC VINYL. REMOVE EXISTING PENDANT LIGHT FIXTURE.
 - 16 EXISTING MILLWORK AND/OR PLUMBING FIXTURE AND ACCESSORIES TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 17 PATCH, REPAIR AND PAINT EXISTING WALLS AS NEEDED TO MATCH SURROUNDING FINISH. REFER TO ID SHEETS AND FINISH SCHEDULE FOR MORE INFORMATION.
 - 18 REPLACE PLASTIC LAMINATE COUNTERTOP WITH NEW SOLID SURFACE COUNTERTOP. PROTECT EXISTING MILLWORK TO REMAIN.
 - 19 REMOVE EXISTING WALL PROTECTION/WAINSCOT AND TRIM CAP. PATCH AND REPAIR WALL TO ACCOMMODATE NEW FINISH.
 - 20 CLEAN AND PREP WALL ABOVE WAINSCOT FOR NEW GRAPHICS.
 - 21 REMOVE AND REPLACE WALL SCONCE. REFER TO ELECTRICAL.
 - 22 EXISTING SINK TO REMAIN. REPLACE EXISTING FAUCET WITH NEW FAUCET. REFER TO PLUMBING FOR MORE INFORMATION.

DEMOLITION PLAN LEGEND

- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING FIRE EXTINGUISHER TO REMAIN
- EXTENT OF FLOORING SCOPE OF WORK

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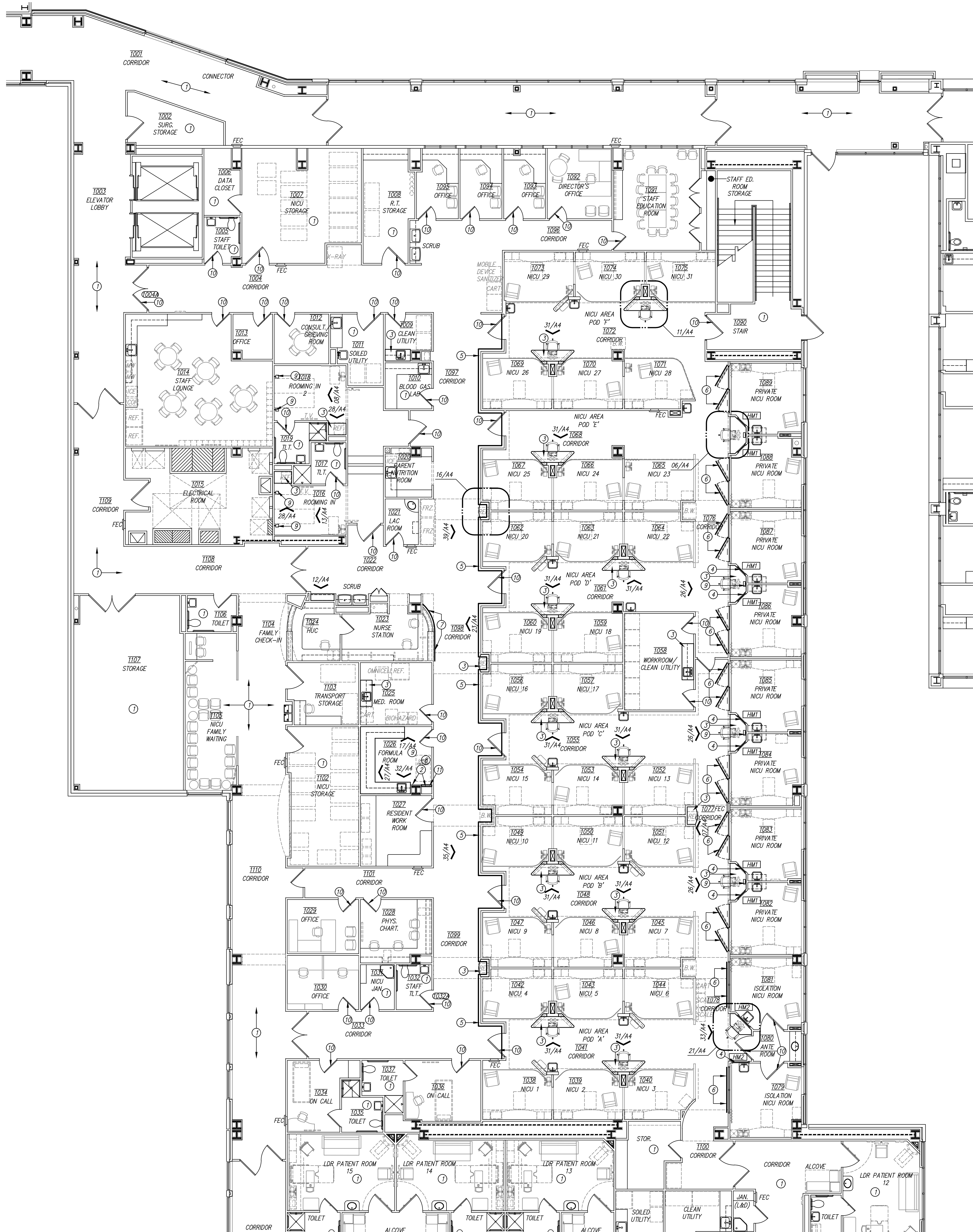
REVISIONS:

NO.	DESCRIPTION	DATE

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PROJECT NO. 22419
DATE: 05/01/2025

SHEET NO.
A1
1 OF 5



35/A2 FIRST FLOOR-ANNOTATED PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- ON ALL WALLS SCHEDULED TO REMAIN, PATCH ANY EXISTING HOLES, CRACKS, OR OTHERWISE DAMAGED AREAS AND RE-TEXTURE AND PAINT AS SCHEDULED.
- THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTANT DRAWINGS, SUCH DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONTRACTOR SHALL RECEIVE INSTRUCTION PRIOR TO INSTALLATION OR PERFORMANCE OF SAID WORK. ANY WORK PERFORMED IN CONFLICT WITH THE DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- REFER TO PROJECT MANUAL FOR ROOM FINISH EXPENSE.
- ALL NEW WALLS TO RECEIVE FULL BATT INSULATION FROM FLOOR TO THE FULL HEIGHT OF THE WALL, INCLUDING ABOVE CEILING.
- ALL WALLS ARE TO BE PARTITION TYPE "P1" UNLESS NOTED OTHERWISE.
- AT ALL NEW FLOOR DRAIN LOCATIONS, THE SLAB IS TO BE RECESSED AND SLOPE FOR POSITIVE DRAINAGE, UNLESS NOTED OTHERWISE. SLOPE IS TO BE 1/8" 1'-0" WITH 1/2" OVERALL RECESS. EXISTING SLABS ARE TO BE CHIPPED OUT TO ACCOMMODATE.
- CONTRACTOR SHALL COORDINATE ALL EQUIPMENT MANUFACTURER'S REQUIREMENTS.
- ALL GYPSUM BOARD IN TOILET ROOMS IS TO BE MOISTURE RESISTANT AS SPECIFIED.
- ANY CORING THAT IS NECESSARY FOR THE INSTALLATION OF PLUMBING LINES, CONDUITS, ETC. IS TO BE SCHEDULED WITH THE OWNER IN ADVANCE.
- INSTALL NEW BASE AT NEW WALL CONSTRUCTION. PROVIDE SMOOTH TRANSITION BY RETURNING BASE TO CORNER.
- FURNITURE SHOWN IS FOR REFERENCE ONLY.
- EXISTING EQUIPMENT SHOWN IS FOR REFERENCE ONLY.

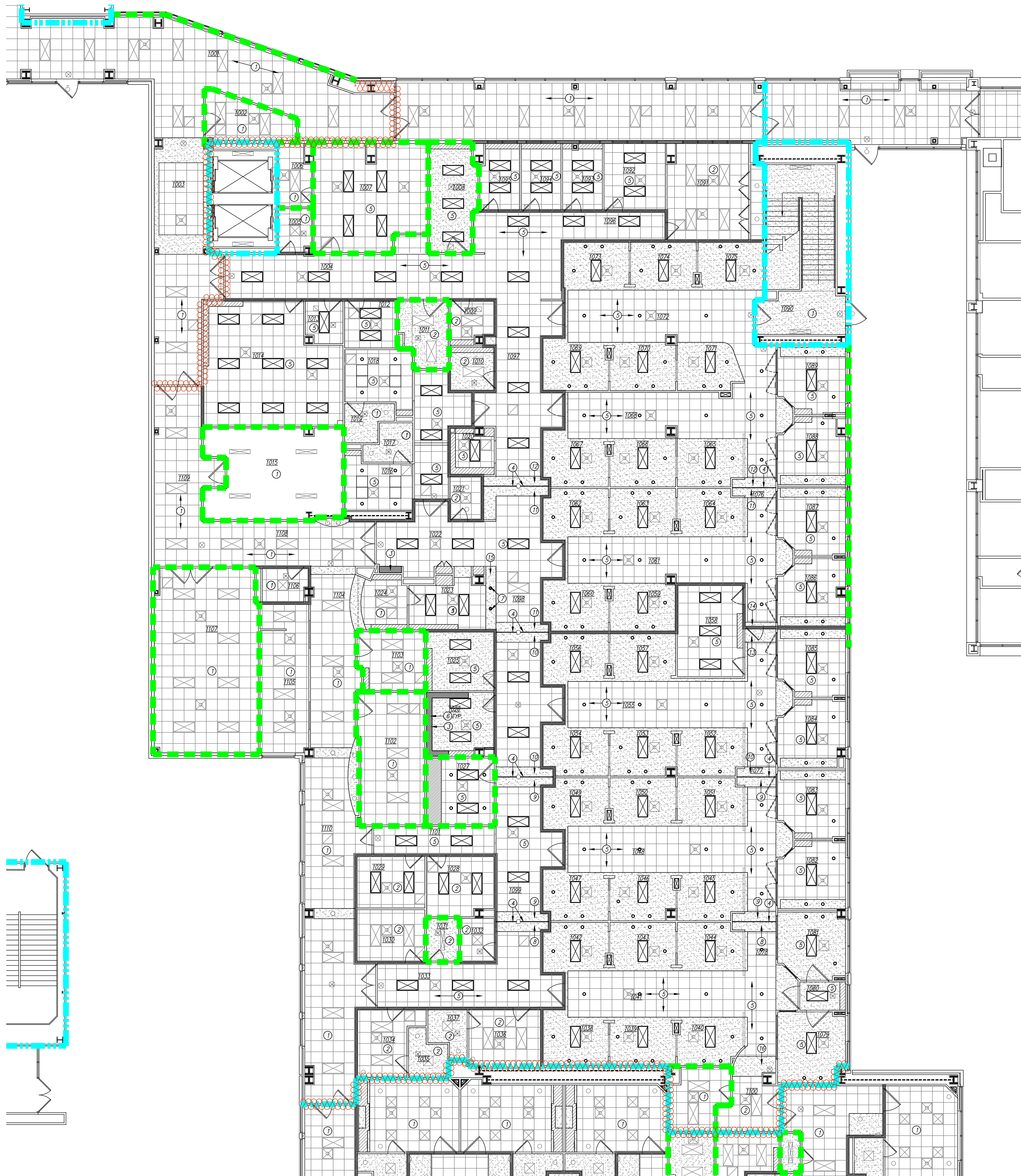
KEYED NOTES

DESIGNATED BY: ①

- NO WORK IN THIS AREA.
- ALIGN FINISHES.
- NEW SOLID SURFACE COUNTERTOP.
- NEW WINDOW WITH INTEGRAL BLINDS. REFER TO FRAME TYPES SCHEDULE.
- NEW GRAPHICS ABOVE MAINSCOT. OWNER FURNISHED. VENDOR INSTALLED. CONTRACTOR TO CLEAN AND PREP SURFACE FOR NEW GRAPHICS.
- NEW GRAPHICS ON DOOR AND/OR WINDOW GLASS. OWNER FURNISHED. VENDOR INSTALLED. CONTRACTOR TO CLEAN AND PREP SURFACE FOR NEW GRAPHICS.
- NEW GRAPHICS ON MILLWORK. OWNER FURNISHED. VENDOR INSTALLED. CONTRACTOR TO CLEAN AND PREP SURFACE FOR NEW GRAPHICS.
- NEW FREEZER. OWNER FURNISHED. CONTRACTOR INSTALLED.
- NEW WALL SCONCE. REFER TO ELECTRICAL FOR MORE INFORMATION.
- NEW PAINT ON DOOR FRAME AND VISION PANEL FRAME.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW STUD WALL
- EXISTING DOOR TO REMAIN - IN AREA OF WORK, REPAINT FRAME TO MATCH NEW FRAMES.
- NEW DOOR
- DOOR DESIGNATION
- EXISTING FIRE EXTINGUISHER TO REMAIN
- WALL & WINDOW GRAPHICS



35/A3 FIRST FLOOR-REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPAIR GRID AND REPLACE CEILING TILES WHERE WALLS, FIXTURES, OR DEVICES ARE REMOVED. REPLACE ALL DAMAGED CEILING TILES IN THE AREA OF WORK. GRID SECTIONS ARE TO BE REPLACED BACK TO NEAREST 4' SECTION AT A MINIMUM. NO SPICES.
2. WHERE APPLICABLE, REWORK FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13 AS REQUIRED TO ACCOMMODATE NEW WORK.
3. COORDINATE LOCATION OF LIGHT FIXTURES AND HVAC GRILLES WITH CEILING GRID. NOTIFY ARCHITECT OF ANY DISCREPANCIES. IF LAYOUT OR QUANTITIES DIFFER FROM MPE SHEETS AND DISCREPANCIES ARE NOT ADDRESSED PRIOR TO BID, CONTRACTOR SHALL PROVIDE FIXTURES TO COVER THE LARGER QUANTITIES INDICATED.
4. EXCEPT FOR CEILING TILES HOUSING DEVICES, DO NOT INSTALL ANY CEILING TILES IN GRID UNTIL AFTER PRE-FINAL INSPECTION HAS BEEN PERFORMED AND DEFICIENCIES CERTIFIED AS CORRECTED.
5. INSTALL 3 1/2" SOUND BATT INSULATION CONTINUOUSLY ABOVE ALL CEILINGS IN AREA OF WORK, INCLUDING EXISTING CEILINGS WHERE SIMILAR SOUND BATTS DO NOT EXIST.
6. REMOVE AND REPLACE ANY EXISTING CEILING TILE AND GRID IN AREAS TO REMAIN AS EXISTING WHERE NECESSARY TO ACCOMMODATE ABOVE CEILING WORK.
7. CLEAN ALL HVAC GRILLES AND LIGHT FIXTURE LENSES IN AREA OF WORK, NEW AND EXISTING.
8. IN EXISTING HARD CEILING OR GRID AND TILES CEILING TO REMAIN, REPLACE LIGHT FIXTURE IF HAVE NOT BEEN UPDATED. REFER TO ELECTRICAL FOR MORE INFORMATION.

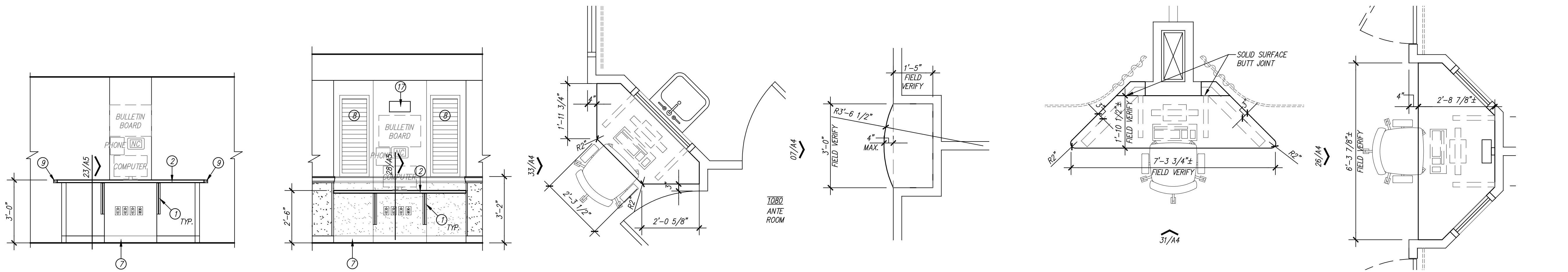
KEYED NOTES

DESIGNATED BY: ①

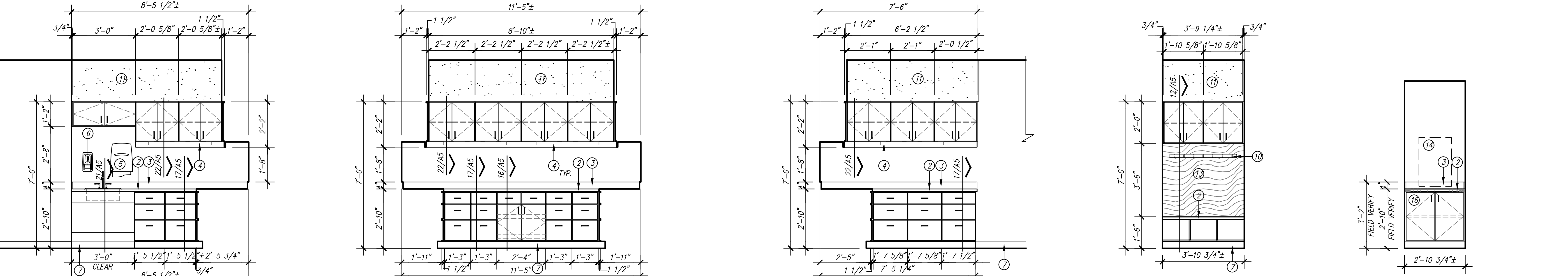
- ① NO WORK IN THIS AREA.
- ② EXISTING CEILING TO REMAIN.
- ③ NEW PAINTED FURDOWN ABOVE MILLWORK. MATCH EXISTING.
- ④ METAL TRIM MTI TO BE INSTALLED IN THIS LOCATION AS SCHEDULED.
- ⑤ NEW LIGHT FIXTURES IN EXISTING CEILING. REPLACE CEILING TILE OR PATCH AND PAINT HARD CEILING TO MATCH EXISTING AS NEEDED. REFER TO ELECTRICAL FOR MORE INFORMATION.
- ⑥ NEW UNDERCABINET LIGHT FIXTURE. REFER TO ELECTRICAL FOR MORE INFORMATION.
- ⑦ NEW PENDANT LIGHTS. REFER TO ELECTRICAL FOR MORE INFORMATION.
- ⑧ VERTICAL FACE OF FURDOWN AND HORIZONTAL FACE OF FURDOWN TO THE CENTER LINE OF THE HORIZONTAL FACE TO BE PAINTED P1.
- ⑨ VERTICAL FACE OF FURDOWN AND HORIZONTAL FACE OF FURDOWN TO THE CENTER LINE OF THE HORIZONTAL FACE TO BE PAINTED P2.
- ⑩ VERTICAL FACE OF FURDOWN AND HORIZONTAL FACE OF FURDOWN TO THE CENTER LINE OF THE HORIZONTAL FACE TO BE PAINTED P3.
- ⑪ VERTICAL FACE OF FURDOWN AND HORIZONTAL FACE OF FURDOWN TO THE CENTER LINE OF THE HORIZONTAL FACE TO BE PAINTED P4.
- ⑫ VERTICAL FACE OF FURDOWN AND HORIZONTAL FACE OF FURDOWN TO THE CENTER LINE OF THE HORIZONTAL FACE TO BE PAINTED P5.
- ⑬ VERTICAL & HORIZONTAL FACES OF FURDOWN TO BE PAINTED P3.
- ⑭ VERTICAL & HORIZONTAL FACES OF FURDOWN TO BE PAINTED P4.
- ⑮ VERTICAL & HORIZONTAL FACES OF FURDOWN TO BE PAINTED P5.
- ⑯ VERTICAL & HORIZONTAL FACES OF FURDOWN TO BE PAINTED P1.

CEILING PLAN LEGEND

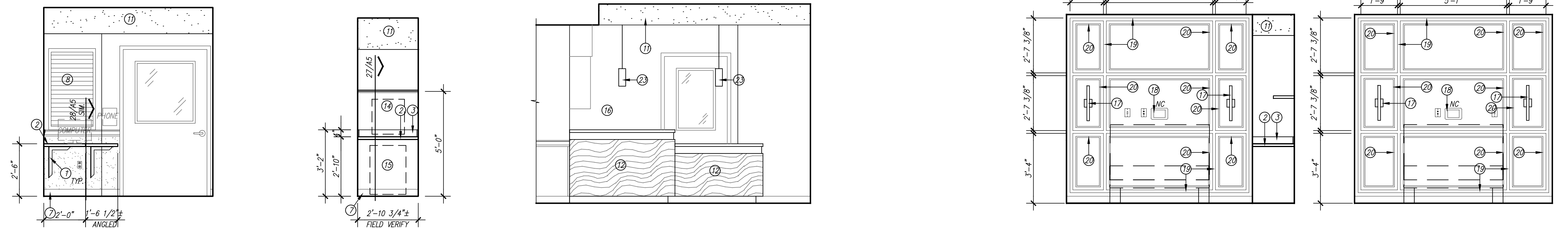
- 2x4 LIGHT FIXTURE - REFER TO ELECTRICAL SHEETS
- CEILING/RECESSED MOUNTED LIGHT FIXTURE-REFER TO ELECTRICAL SHEETS
- SUPPLY GRILLE - REFER TO MECHANICAL SHEETS
- RETURN AIR GRILLE - REFER TO MECHANICAL SHEETS
- 2-HOUR RATED FIREWALL ASSEMBLY FRAMED TO THE STRUCTURE ABOVE. SEAL ALL PENETRATIONS AND JOINTS WITH A UL LISTED SYSTEM.
- 1-HOUR RATED FIREWALL ASSEMBLY FRAMED TO THE STRUCTURE ABOVE. SEAL ALL PENETRATIONS AND JOINTS WITH A UL LISTED SYSTEM.
- SMOKE BARRIER
- 1-HOUR FIRE-RATED ASSEMBLY AS DESCRIBED ABOVE.
- NON-RATED SMOKE PARTITION WALL PARTITION THAT IS NOT FIRE-RATED AND DOES NOT EXTEND TO STRUCTURAL DECK ABOVE. WALL MAY TERMINATE 6" ABOVE CEILING. MUST PREVENT PASSAGE OF SMOKE.



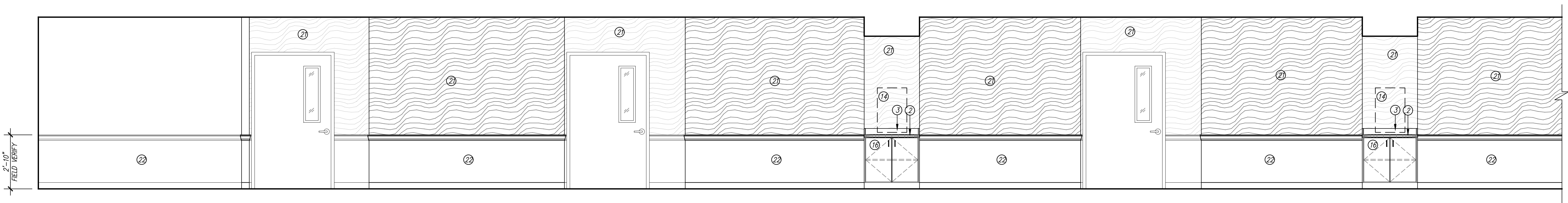
31/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" NICU PODS
26/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" NICU PODS CORRIDOR
21/A4 ENLARGED PLAN SCALE: 1/2" = 1'-0"
16/A4 ENLARGED PLAN SCALE: 1/2" = 1'-0"
11/A4 ENLARGED PLAN SCALE: 1/2" = 1'-0"
06/A4 ENLARGED PLAN SCALE: 1/2" = 1'-0"



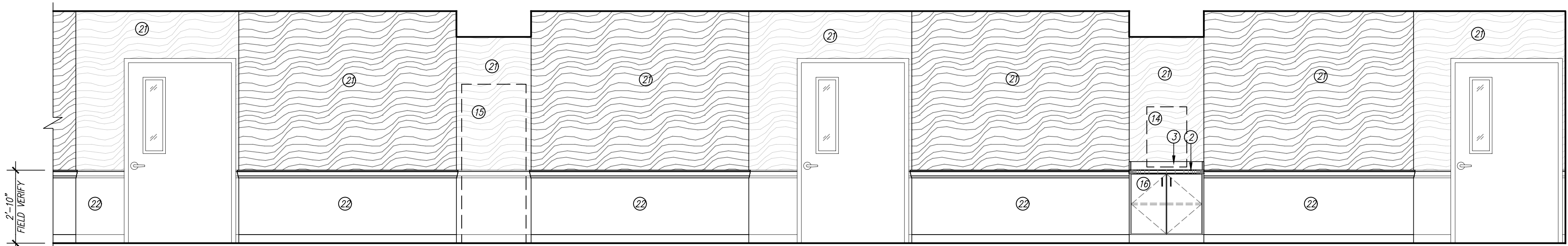
32/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" FORMULA ROOM 1026
27/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" FORMULA ROOM 1026
17/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" FORMULA ROOM 1026
12/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" CORRIDOR 1022
07/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" CORRIDOR 1077



33/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" CORRIDORS 1078
28/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" ROOMING IN 1016 & 1018
23/A4 MILLWORK ELEVATION SCALE: 3/8" = 1'-0" NURSE STATION 1023



39/A4 INTERIOR ELEVATION SCALE: 3/8" = 1'-0" CORRIDOR 1097



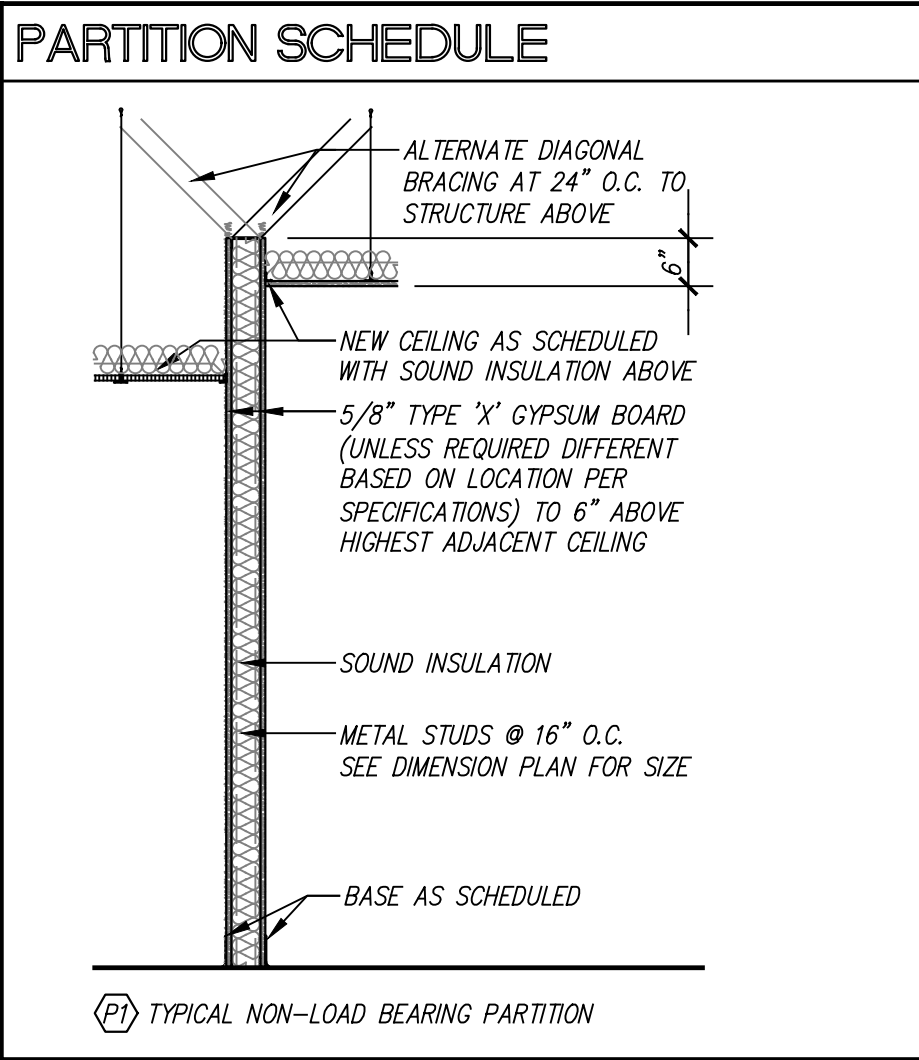
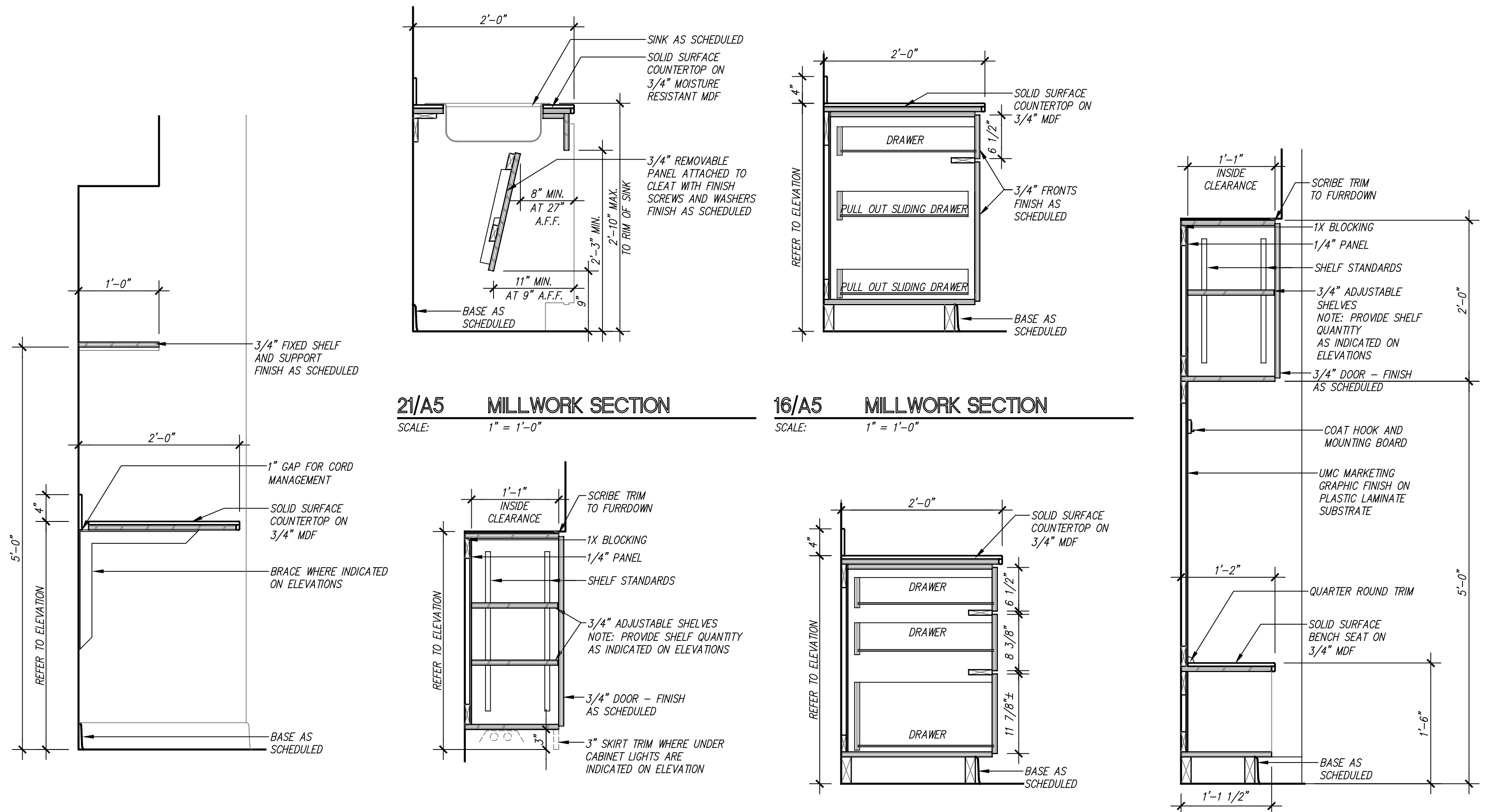
35/A4 INTERIOR ELEVATION SCALE: 3/8" = 1'-0" CORRIDORS 1098 & 1099

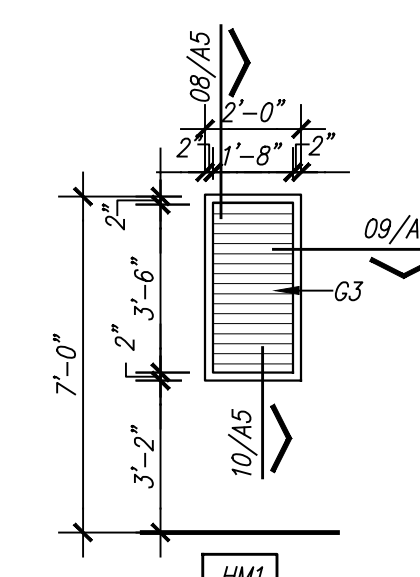
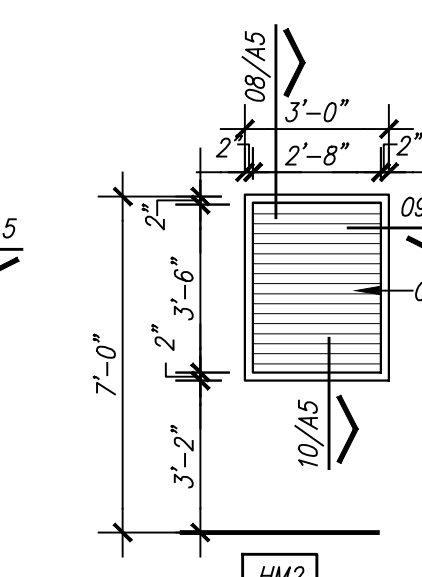
GENERAL NOTES

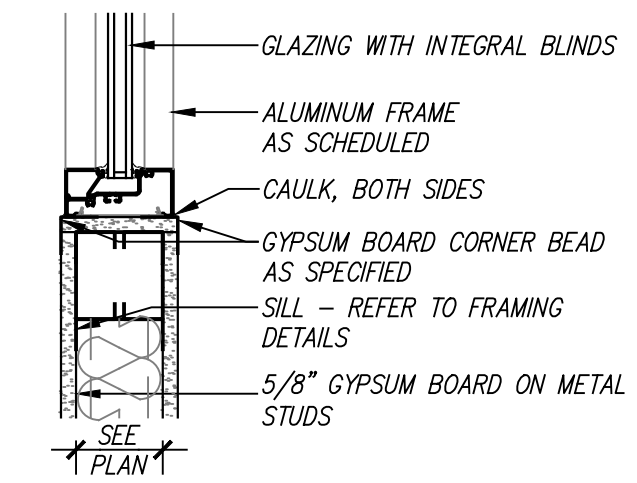
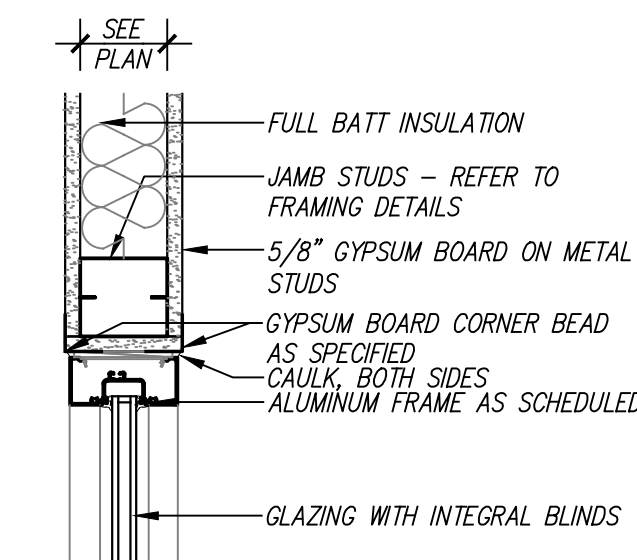
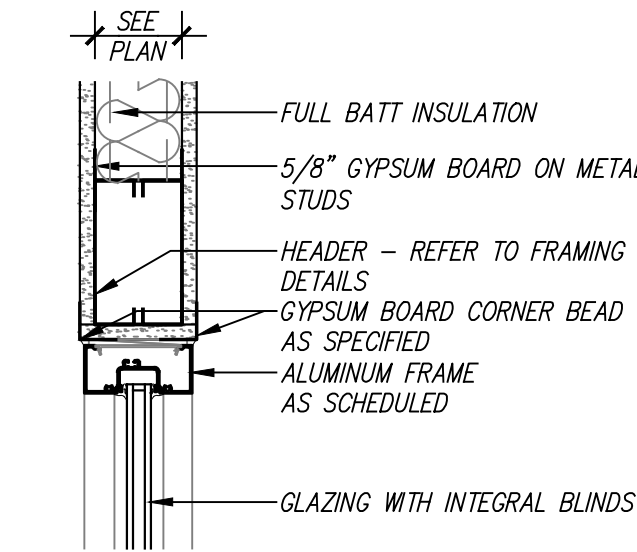
- 1). ALL PLAN DIMENSIONS ARE ACTUAL DIMENSIONS TO FACE OF METAL STUDS UNLESS NOTED OTHERWISE. ALL ELEVATION DIMENSIONS ARE DIMENSIONS FROM FINISH, NOT FROM STUDS.
- 2). UPPER CABINETS ARE TO BE 13" DEEP INSIDE UNLESS OTHERWISE NOTED. REFER TO MILLWORK SECTIONS.
- 3). GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CLEARANCES PRIOR TO FABRICATION OF MILLWORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
- 4). FINISH ALL EXPOSED BULKHEADS AND/OR CABINET RETURNS.
- 5). ALL SOLID SURFACE EDGES TO BE EASED.
- 6). * = 3 5/8" MTL. STUDS @ 16" O.C.
- 7). GENERAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND MECHANICAL ITEMS AND EQUIPMENT THAT IS INCORPORATED IN THE MILLWORK. NO OUTLETS, DEVICES, SWITCHES, OR OTHER EXPOSED ELECTRICAL SHALL BE CONCEALED IN ANY WAY BY THE INSTALLED MILLWORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.

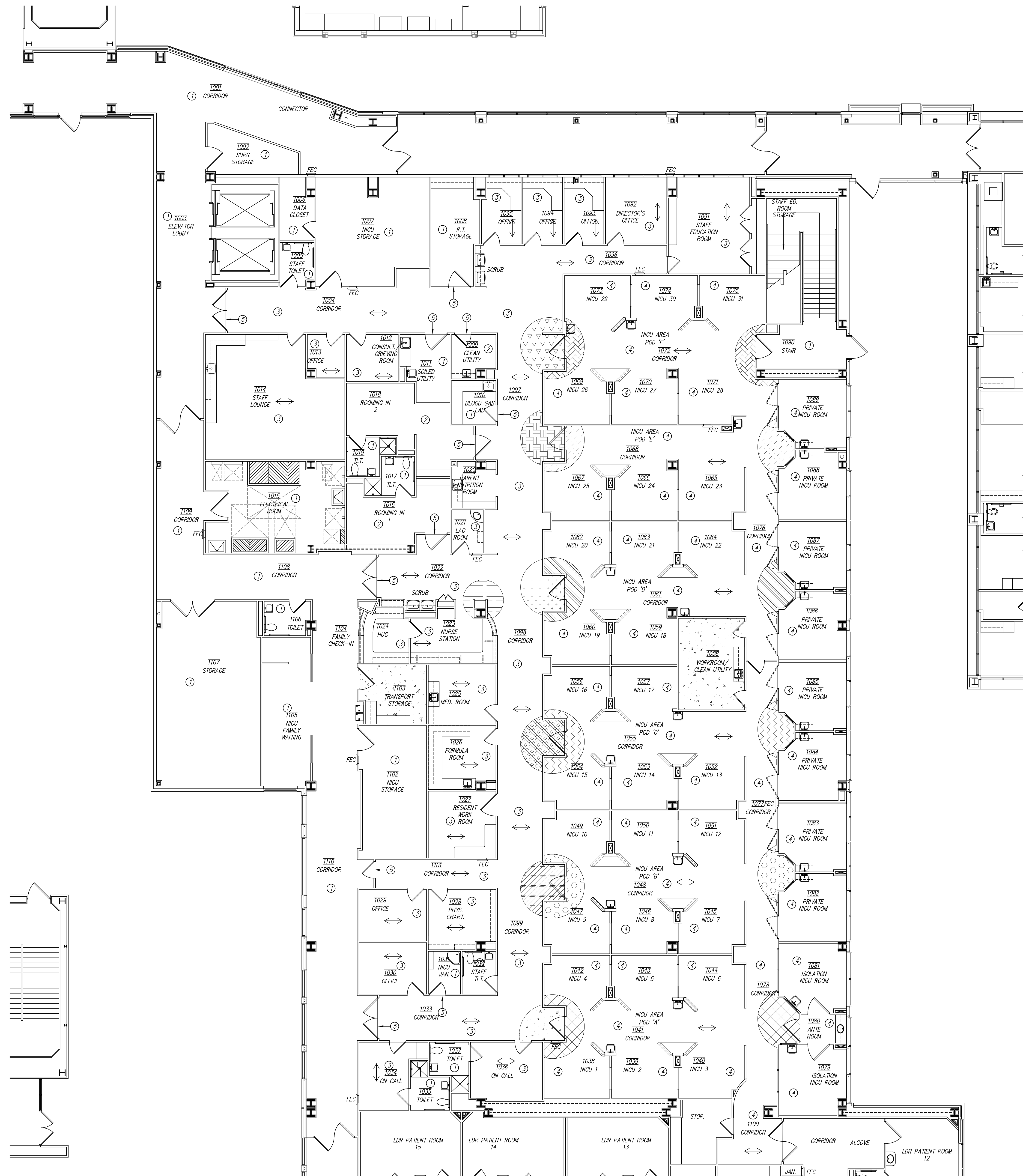
KEYED NOTES

- DESIGNATED BY: ①
- ① UNDERCOUNTER RAKKS SUPPORT BRACKET AS SPECIFIED.
 - ② SOLID SURFACE MATERIAL AS SCHEDULE.
 - ③ 4" BACKSPLASH AS SCHEDULE.
 - ④ UNDERCABINET LIGHT. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - ⑤ SOAP DISPENSER WITH CONTROLS MOUNTED @ 47" A.F.F.
 - ⑥ PAPER TOWEL DISPENSER WITH CONTROLS MOUNTED @ 47" A.F.F.
 - ⑦ BASED AS SCHEDULE.
 - ⑧ NEW WINDOW WITH INTEGRAL BLINDS.
 - ⑨ 2" RADIUS CORNER OF COUNTERTOP.
 - ⑩ COAT HOOK AND MOUNTING BOARD.
 - ⑪ PAINTED FURROWDOWN ABOVE MILLWORK.
 - ⑫ NEW UMC MARKETING GRAPHIC FINISH ON EXISTING MILLWORK. OWNER FURNISHED, VENDOR INSTALLED. CONTRACTOR TO CLEAN AND PREP PLASTIC LAMINATE FOR GRAPHIC APPLICATION.
 - ⑬ NEW UMC MARKETING GRAPHIC FINISH. OWNER FURNISHED, VENDOR INSTALLED. CONTRACTOR TO CLEAN SUB SURFACE MATERIAL FOR GRAPHIC APPLICATION.
 - ⑭ ABOVE COUNTER REFRIGERATOR. OWNER FURNISHED, CONTRACTOR INSTALLED.
 - ⑮ HOSPITAL EQUIPMENT FURNISHED BY OWNER.
 - ⑯ EXISTING MILLWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ⑰ NEW WALL SCONCE. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - ⑱ EXISTING NURSE CALL DEVICE TO REMAIN. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - ⑲ DIRECT APPLY WOOD TRIM DWITZ IN THIS LOCATION.
 - ⑳ DIRECT APPLY WOOD TRIM DWITZ IN THIS LOCATION.
 - ㉑ NEW UMC MARKETING GRAPHIC FINISH ON EXISTING WALL ABOVE WAINSCOT. OWNER FURNISHED, VENDOR INSTALLED. CONTRACTOR TO CLEAN AND PREP WALL FOR GRAPHIC APPLICATION.
 - ㉒ EXISTING WAINSCOT/WALL PROTECTION AND TRIM CAP TO REMAIN.
 - ㉓ NEW PENDANT LIGHT.REFER TO ELECTRICAL FOR MORE INFORMATION.



DOOR MARK	OPENING	DOOR TYPE	PAIR	DOOR MATERIAL	FIRE RATING	FRAME TYPE	DETAILS			REMARKS
							HEAD	JAMB	SILL	
1004A	7'-4" x 7'-0"	EX	PR	EX	-	EX	-	-	-	TAP BADGE & ELECTRICAL
1032A	3'-0" x 7'-0"	EX	-	EX	-	EX	-	-	-	ADD VACANT/OCCUPIED HARDWARE
EX = EXISTING										
FRAME TYPES AL = ALUMINUM										
										
										





35/ID1 FIRST FLOOR-FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- 1). REFER TO THE PROJECT MANUAL AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION. SHOULD THERE BE A DISCREPANCY BETWEEN THE DOCUMENTS, SUCH DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONTRACTOR SHALL RECEIVE INSTRUCTION PRIOR TO INSTALLATION OR PERFORMANCE OF SAID WORK. WORK PERFORMED IN CONFLICT WITH THE DRAWINGS OR SCHEDULE SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- 2). ALL WORK IS TO BE PERFORMED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS.
- 3). FIELD VERIFY ALL DIMENSIONS NEW OR EXISTING PRIOR TO CONSTRUCTION AND ADJUST WHERE REQUIRED TO PROVIDE A PROPER AND COMPLETE INSTALLATION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- 4). PROVIDE SMOOTH TRANSITION WHERE NEW CONSTRUCTION INTERSECTS WITH EXISTING CONDITIONS. IN ALL AREAS ADJACENT TO NEW CONSTRUCTION, REPAIR/PREFINISH AND INSTALL NEW WALL BASE, PAINT, ETC. WHERE NECESSARY TO AVOID PATCHES OR INCONSISTENT FINISHES.
- 5). A PRE-INSTALLATION MEETING WITH THE ARCHITECT IS REQUIRED PRIOR TO THE INSTALLATION OF VINYL FLOORING AND WALL PROTECTIVE PRODUCTS.
- 6). INSTALL FLOORING TO WALL UNDER OPEN MILLWORK OR EQUIPMENT.
- 7). INCLUDE TRANSITION STRIPS BETWEEN DIFFERENT FLOORING TYPES AS SCHEDULED.

KEYED NOTES

DESIGNATED BY: ① ②

- ① NO WORK IN THIS AREA.
- ② EXISTING FLOORING TO REMAIN IN THIS LOCATION.
- ③ INSTALL SHEET VINYL SV1 IN THIS LOCATION.
- ④ INSTALL RUBBER FLOORING RF1 IN THIS LOCATION.
- ⑤ WELD SEAM IN THIS LOCATION WHERE NEW SHEET VINYL CONNECTS TO EXISTING SHEET VINYL.

FLOOR FINISH LEGEND

- | | |
|--|---------------------|
| | SV2 SHEET VINYL |
| | SV3 SHEET VINYL |
| | SV4 SHEET VINYL |
| | SV5 SHEET VINYL |
| | SV6 SHEET VINYL |
| | SV7 SHEET VINYL |
| | SV8 SHEET VINYL |
| | RF2 RUBBER FLOORING |
| | RF3 RUBBER FLOORING |
| | RF4 RUBBER FLOORING |
| | RF5 RUBBER FLOORING |
| | RF6 RUBBER FLOORING |
| | RF7 RUBBER FLOORING |

←→ INDICATES FLOORING PATTERN DIRECTION

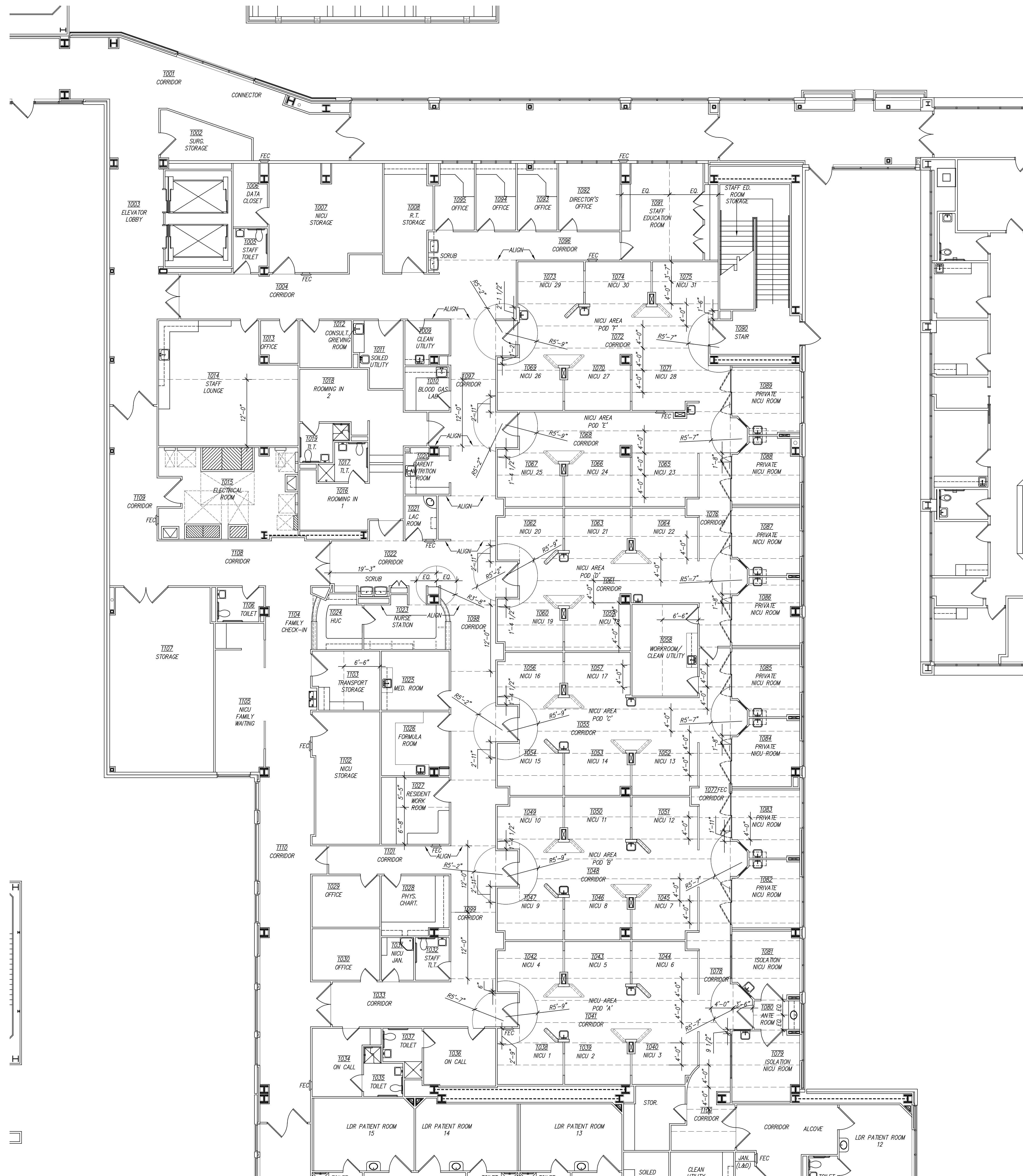
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PROJECT NO. 22419
DATE: 05/01/2025

SHEET NO.

1 OF 3



- GENERAL NOTES**
- 1). REFER TO THE PROJECT MANUAL AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION. SHOULD THERE BE A DISCREPANCY BETWEEN THE DOCUMENTS, SUCH DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONTRACTOR SHALL RECEIVE INSTRUCTION PRIOR TO INSTALLATION OR PERFORMANCE OF SAID WORK. WORK PERFORMED IN CONFLICT WITH THE DRAWINGS OR SCHEDULE SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
 - 2). ALL WORK IS TO BE PERFORMED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS.
 - 3). FIELD VERIFY ALL DIMENSIONS NEW OR EXISTING PRIOR TO CONSTRUCTION AND ADJUST WHERE REQUIRED TO PROVIDE A PROPER AND COMPLETE INSTALLATION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
 - 4). PROVIDE SMOOTH TRANSITION WHERE NEW CONSTRUCTION INTERSECTS WITH EXISTING CONDITIONS. IN ALL AREAS ADJACENT TO NEW CONSTRUCTION, REPAIR/REFINISH AND INSTALL NEW WALL BASE, PAINT, ETC. WHERE NECESSARY TO AVOID PATCHES OR INCONSISTENT FINISHES.
 - 5). A PRE-INSTALLATION MEETING WITH THE ARCHITECT IS REQUIRED PRIOR TO THE INSTALLATION OF VINYL FLOORING AND WALL PROTECTIVE PRODUCTS.
 - 6). INCLUDE ALL TRIM, CONNECTOR, AND END CAP PIECES FOR COMPLETE INSTALLATION OF FINISHES, UNLESS NOTED OTHERWISE.
 - 7). CAULK AT ALL TRANSITIONS BETWEEN DISSIMILAR TYPES OF MATERIALS AND SURFACES WITH COLOR-MATCHED CAULK.

FLOOR DIMENSION LEGEND

----- INDICATES FLOORING SEAM LOCATION

CONDRA Y

DESIGN GROUP

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& INTERIOR DESIGN

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AURA LEVINE

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STATE OF TEXAS

05/01/2023

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UNIVERSITY MEDICAL CENTER
FIRST FLOOR EAST TOWER
NICU RENOVATION
PROPOSAL ITEM #2

602 INDIAN AVENUE
LUBBOCK, TX 79415

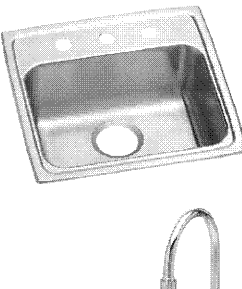
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PROJECT NO. 22419
DATE: 05/01/2023

SHEET NO.
ID2

2 OF 3

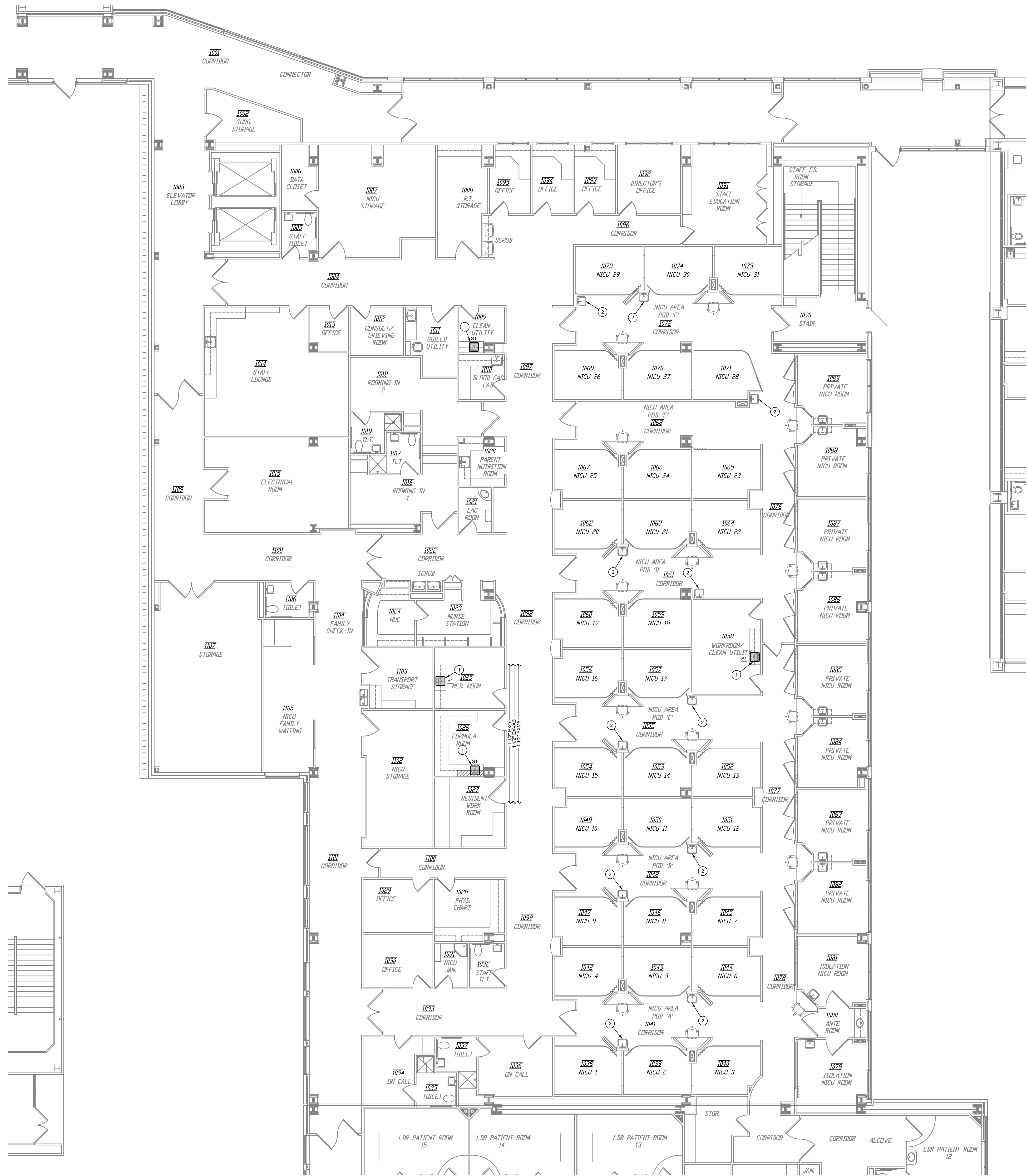
PLUMBING FIXTURE SCHEDULE						
MARK	REFERENCE IMAGE	FIXTURE SPECIFICATION (FIXTURES ARE EXAMPLES ONLY, EQUAL FIXTURES FROM ALTERNATE MANUFACTURERS IS ACCEPTABLE. REFER TO SPECIFICATION FOR ACCEPTABLE MANUFACTURERS)	FIXTURE CONNECTIONS (RUNOUT LINE SIZES)			
			CW	HW	SS	V
SINKS						
S1		Fixture: Elkay LRAD-1918, 19" x 18" x 6" deep, single compartment, off-center drain, 18 gage type 302 self rimming stainless steel with 2 holes. TAS compliant.				
		Supply: T&S Brass B-2742, single lever side mounted remote on/off central base faucet, ceramic cartridge, swivel gooseneck, 16" flexible stainless steel supply hoses and 2.2GPM aerator. TAS compliant.				
		Strainer: McGuire 1151WC, adjustable brass offset sink strainer with 17 gauge seamless brass waste arm and tailpiece, cast brass slip nuts and heavy cast elbow.				
		P-trap: McGuire 8912C-F P-trap shall be chrome plated cast brass body with cleanout, with 17 gauge seamless wall bend, slip nuts and Chrome Plated Forged Brass Set Screw Flange.				
		Stops, risers: McGuire BV2165-F Supply kit shall include commercial pattern chrome plated Quarter-Turn Brass Ball Valve with convertible loose key handle, Chrome Plated copper riser and Chrome Plated Forged Brass Set Screw Flange.				
		Protective Insulation: Plumberex X4333/X4114, Insulate per ADA 4.19.4 and or IBC all exposed lavatories drain piping, hot/cold stops and supplies. Protectors will consist of molded closed cell PVC, with anti-fungal and anti-microbial properties. To be one piece continuous smooth design.	1/2"	1/2"	2"	2"

PLUMBING GENERAL NOTES	
1.	THESE DRAWINGS HAVE BEEN PRODUCED WITH LIMITED INFORMATION ABOUT THE EXISTING BUILDING AND THE EXISTING PLUMBING SYSTEMS. THE EXISTING INFORMATION MAY BE LIMITED TO SITE SURVEYS PERFORMED BY THE ENGINEER AND/OR EXISTING AS-BUILT DRAWINGS. THE EXISTING PLUMBING SYSTEMS SHOWN ON THE DRAWINGS ARE DETAILED WITH THE BEST ACCURACY KNOWN BY THE ENGINEER AT THE TIME OF THE PROJECT, AND MAY NOT REFLECT THE ACTUAL EXISTING CONDITIONS ON SITE. THE CONTRACTOR SHALL ADJUST THE NEW INSTALLATION AS NEEDED TO ADAPT TO THE ACTUAL CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY MAJOR DISCREPANCIES.
2.	VERIFY THE EXACT LOCATION OF ALL EXISTING EQUIPMENT AND PIPING AT JOBSITE. CONTRACTOR SHALL WALK THE SITE AND BECOME FAMILIAR WITH ALL EXISTING SYSTEMS AND INSTALLATIONS. CONTRACTOR SHALL TAKE CARE TO PROTECT ALL OPERATIONAL SYSTEMS. ANY EXISTING SYSTEMS THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
3.	FOR ALL ITEMS SHOWN TO BE REMOVED, REMOVE ALL ASSOCIATED ITEMS INCLUDING HANGERS, SUPPORTS, PIPE RUNOUTS, ELECTRICAL WIRING, CONTROL WIRING, EGT, THE OVERALL INTENT OF THE DEMOLITION SHALL BE TO CLEAN UP THE EXISTING AREA AS MUCH AS POSSIBLE OF OLD ITEMS THAT ARE NO LONGER BEING UTILIZED FOR THE NEW SCOPE OF WORK.
4.	CONTRACTOR SHALL COORDINATE ALL PLUMBING DISCONNECTIONS AND INTERRUPTIONS WITH BUILDING OWNER. ANY SHUT DOWNS OF EXISTING SYSTEMS THAT ARE REQUIRED SHALL BE COORDINATE WITH THE BUILDING OWNER MINIMUM 7 DAYS IN ADVANCE, AND SHALL BE DONE TO MINIMIZE THE DISTURBANCE TO THE BUILDING OCCUPANTS.
5.	VERIFY EXACT SCHEDULE AND PHASING OF PROJECT WITH THE ARCHITECT.
6.	THE BUILDING OWNER SHALL RETAIN THE FULL RIGHTS OF SALVAGE FOR ALL PLUMBING EQUIPMENT INDICATED TO BE REMOVED. THE CONTRACTOR SHALL COORDINATE WITH OWNER ON ALL SALVAGED ITEMS. THE CONTRACTOR SHALL DELIVER THESE PIECES OF EQUIPMENT TO A LOCATION AS DIRECTED BY THE OWNER. FOR ALL ITEMS THAT THE OWNER DOES NOT SALVAGE, THE CONTRACTOR SHALL DISPOSE OF OFF SITE AS REQUIRED.
7.	SEAL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS AND ROOFS WHERE MECHANICAL COMPONENTS ARE REMOVED AND WHERE THE EXISTING PENETRATION IS NOT USED FOR THE NEW INSTALLATION. REPAIR DAMAGED SURFACES TO MATCH ADJACENT AREAS OR AS INDICATED ON THE ARCHITECTURAL DRAWINGS. INSTALL PERMANENT CAPS PIPING IS REMOVED AND THE EXISTING TAPS ARE NOT USED FOR THE NEW INSTALLATION.
8.	INSPECT EXISTING EQUIPMENT TO REMAIN TO VERIFY THAT EQUIPMENT IS OPERATING PROPERLY. NOTIFY OWNER OF DAMAGED AND/OR MALFUNCTIONING COMPONENTS.
9.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THESE PLANS AND SPECIFICATIONS IN ADDITION TO THE RELATED MECHANICAL, ELECTRICAL, STRUCTURAL, ARCHITECTURAL, AND CIVIL ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE ENTIRE SCOPE OF THE PROJECT. IN ADDITION, THE CONTRACTOR MUST COORDINATE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO FULLY UNDERSTAND ALL REQUIREMENTS WHICH MAY NOT BE SPECIFIED HEREIN AND WHICH THE OWNER MAY CONSIDER PART OF THIS CONTRACT. DURING THE COURSE OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO WORK CLOSELY WITH ALL ACCOMPANYING CONTRACTORS AND TRADESMEN IN ORDER TO ENSURE SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
10.	ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, NATIONAL, CITY, STATE, AND ANY LOCAL ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES, AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS WORK.
11.	THE CONTRACTOR SHALL PROVIDED ALL NECESSARY COMPONENTS FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM FOR THE BUILDING OWNER. MATERIALS, EQUIPMENT OR LABOR NOT INDICATED, BUT WHICH CAN BE REASONABLY INFERRED TO BE NECESSARY FOR A COMPLETE INSTALLATION SHALL BE PROVIDED. THE DRAWINGS AND SPECIFICATIONS DO NOT UNDERTAKE TO INDICATE EVERY ITEM OF MATERIAL, EQUIPMENT OR LABOR REQUIRED TO PRODUCE A SAFE, COMPLETE AND PROPERLY OPERATING SYSTEM.
12.	THE DRAWING SHEETS SHALL BE PRINTED USING THE CORRECT PAPER SIZE IN ORDER FOR ANY SCALED ITEMS TO BE ACCURATE. HOWEVER, THE CONTRACTOR SHALL NOT RELY ON THE SCALED DRAWINGS FOR EXACT MEASUREMENTS, THE LOCATIONS, ARRANGEMENT AND EXTENT OF EQUIPMENT, PIPING, DUCTWORK, AND ITEMS RELATED TO THE INSTALLATION OF THE PLUMBING WORK SHOWN ARE APPROXIMATE. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE.
13.	ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND THE RELATED MECHANICAL, FIRE PROTECTION, ELECTRICAL, STRUCTURAL, ARCHITECTURAL, INTERIOR, AND CIVIL ENGINEERING DRAWINGS, OR BETWEEN THESE BID DOCUMENTS AND FIELD CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. SHOULD THE CONTRACTOR REQUIRE FURTHER CLARIFICATION, AN RFI SHALL BE SUBMITTED FOR CLARIFICATION, WHERE CONFLICTS DO EXIST, THE PROJECT ENGINEER OF RECORD, THROUGH THE ARCHITECT, SHALL HAVE SOLE DISCRETION AND RIGHT TO PROVIDE INTERPRETATION OF INTENT OF THE CONTRACT DOCUMENTS AS REQUIRED. THIS INTERPRETATION SHALL SERVE TO DIRECT THE CONTRACTOR IN ACCORDANCE WITH THE IMPLIED INTENT OF THE CONSTRUCTION DOCUMENTS WITHOUT ADDITIONAL COST TO THE PROJECT.
14.	THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH A COMPLETE SET OF "AS BUILT" DRAWINGS SHOWING ALL FIELD MODIFICATIONS THAT DEVIATE FROM THE CONSTRUCTION SET OF PLANS AT THE COMPLETION OF THE PROJECT.
15.	CONTRACTOR SHALL COORDINATE EXACT UTILITY REQUIREMENTS WITH LOCAL UTILITY COMPANIES PRIOR TO BID AND INCLUDE ALL FEES REQUIRED FOR NEW UTILITY SERVICES TO BUILDING. ALL NEW SERVICES AND TAPS SHALL BE INSTALLED ACCORDING TO STANDARDS AND REQUIREMENTS OF THE LOCAL CITY. VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES AND PIPING AT THE JOBSITE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL UTILITIES PRIOR TO BID. SITE UTILITIES SHOWN ON DRAWINGS ARE SHOWN BASED ON INFORMATION PROVIDED TO ENGINEER AT THE TIME OF THE PROJECT.
16.	ORDER OF PRECEDENCE SHALL BE OBSERVED IN LAYING OUT THE PIPE, DUCTWORK, MATERIAL, AND CONDUIT IN ORDER TO FIT THE MATERIAL INTO THE SPACE ABOVE THE CEILING AND IN THE CHASES AND WALLS. THE FOLLOWING ORDER SHALL GOVERN: 1. ITEMS AFFECTING THE VISUAL APPEARANCE OF THE INSIDE OF THE BUILDING SUCH AS LIGHTING FIXTURES, DIFFUSERS, GRILLES, OUTLETS, PANELBOARDS, ETC. COORDINATE ALL ITEMS TO AVOID CONFLICTS AT THE SITE. 2. LINES REQUIRING GRADE TO FUNCTION SUCH AS SEWERS, ROOF DRAINS AND CONDENSATE DRAINS. 3. LARGE DUCTS AND PIPES WITH CRITICAL CLEARANCES. 4. FIRE SPRINKLER LINES, CONDUIT, WATER LINES, AND OTHER LINES WHOSE ROUTING IS NOT CRITICAL AND WHOSE FUNCTION WOULD NOT BE IMPAIRED BY BENDS AND OFFSETS.
17.	MOUNTING HEIGHT OF ALL PLUMBING FIXTURES SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
18.	ALL PIPING TO BE CONCEALED IN CEILINGS, CHASES, AND FURRED SPACES UNLESS NOTED OTHERWISE.
19.	REFER TO PLUMBING FIXTURE CONNECTION SCHEDULE FOR RUNOUT LINE SIZES TO INDIVIDUAL FIXTURES WHERE LINE SIZES ARE NOT INDICATED ON FLOOR PLAN.
20.	PROVIDE POINT-OF-USE MIXING VALVE BELOW ALL LAVATORIES AND HAND SINKS AND SET TO PROVIDE MAXIMUM OF 100°F WATER TO HOT WATER SIDE OF ALL FAUCETS. VERIFY MOUNTING LOCATION OF MIXING VALVE WITH OWNER AND WITH ADA CLEARANCE. MIXING VALVE SHALL BE EQUAL TO BRIDGELIF 559.
21.	DURING CONSTRUCTION, ALL FLOOR DRAINS AND OPEN DENSE PIPES SHALL BE COVERED TO PREVENT DEBRIS FROM GETTING INSIDE. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY HEATING INSIDE THE BUILDING IF REQUIRED TO AVOID FREEZING OF WATER PIPING SYSTEMS.
22.	HANDLE AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S AND SUPPLIER'S RECOMMENDATIONS AND IN A MANNER TO PREVENT DAMAGE TO MATERIALS DURING STORAGE AND HANDLING. REPLACE DAMAGED MATERIALS AS NEEDED AT NO ADDITIONAL COST TO THE OWNER. EQUIPMENT NOT TO BE MATERIALS SHALL NOT BE INSTALLED SUCH THAT AS THE ENVIRONMENTAL CONDITIONS OF THE JOB SITE ARE SUITABLE TO PROTECT THE EQUIPMENT OR MATERIALS. PVC PIPING SHALL NOT BE STORED IN THE DIRECT SUNLIGHT. PROVIDE TAPPS OR SIMILAR MATERIAL AS NEEDED TO PROTECT PVC PIPING. EQUIPMENT OR MATERIALS DAMAGED, OR WHICH ARE SUBJECTED TO THESE ELEMENTS, ARE UNACCEPTABLE AND SHALL BE REMOVED FROM THE PREMISES AND REPLACED.
23.	ROUTE PIPES PARALLEL AND PERPENDICULAR TO THE BUILDING STRUCTURE UNLESS OTHERWISE SHOWN ON PLANS. INSTALL ALL PIPING AS HIGH AS POSSIBLE WITHIN THE AVAILABLE SPACE. PLUMBING EQUIPMENT AND PIPES SHALL BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE. INSTALL PIPES TO ALLOW FOR THE REMOVAL OF ALL CEILING TILES. REFER TO ARCHITECTURAL, REFLECTED CEILING PLAN. COORDINATE AS REQUIRED TO AVOID CONFLICTS.
24.	MAINTAIN MINIMUM 15'-0" SEPARATION BETWEEN OUTSIDE AIR INTAKES AND ALL EXHAUST FANS, FLUES, AND PLUMBING VENTS.
25.	PROVIDE P-TRAP AND CONDENSATE DRAIN LINE AT ALL UNITS. REFER TO DETAILS AND SPECIFICATIONS. CONDENSATE DRAINS SHALL BE ROUTED TO THE NEAREST APPROVED MOP SINK, FLOOR SINK, FLOOR DRAIN, OR OTHER APPROVED RECEPTOR WITH AN INDIRECT CONNECTION AS SHOWN ON PLANS. CONDENSATE SHALL NOT BE ALLOWED TO DRAIN ONTO ANY WALKWAY AREA THAT WOULD CAUSE A HUSBANCE.
26.	PIPING IS SHOWN FOR DIAGRAMMATIC PURPOSES ONLY. CONTRACTOR SHALL COORDINATE EXACT ROUTING OF PIPING AT JOBSITE. PROVIDE ALL REQUIRED OFFSETS AND ELBOWS AS REQUIRED FOR A COMPLETE OPERATIONAL SYSTEM. CONTRACTOR SHALL UTILIZE THE STRAIGHTEST PIPE ROUTING PATH POSSIBLE TO MINIMIZE UNNECESSARY PRESSURE DROP WITHIN THE SYSTEM.
27.	ALL PIPE PENETRATIONS THROUGH WALLS, CEILINGS, FLOORS, AND ROOFS SHALL BE FULLY SEALED APPROPRIATELY. INSTALL SLEEVES FOR PIPING PENETRATIONS FOR RATED WALLS AND FLOORS. INSTALL CHROME PLATED ESCUTCHEONS FOR PIPING PENETRATIONS OF WALLS, CEILINGS, AND FLOORS THAT ARE OPENLY VISIBLE TO BUILDING OCCUPANTS.
28.	ALL PLUMBING EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS WITH PROPER SUPPORTS OR MOUNTING DEVICES. MAINTAIN MANUFACTURER'S RECOMMENDED SERVICE CLEARANCES AROUND EQUIPMENT AT A MINIMUM. DO NOT ROUTE PIPING THROUGH THE SERVICE CLEARANCE AREAS. COORDINATE THESE REQUIREMENTS WITH ALL TRADES IN THE FIELD. ALL PIPING SHALL BE LABELED.
29.	ANY COST INCURRED AS A RESULT OF VALUE ENGINEERING OR DEVIATIONS FROM THE BASIS OF DESIGN INDICATED IN THE CONTRACT DOCUMENTS (E.G. ELECTRICAL MODIFICATIONS TO ACCOMMODATE ALTERNATE EQUIPMENT SELECTIONS, DESIGN RELATED EXPENSES FOR REQUIRED DRAWING MODIFICATIONS, ETC.) SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NO INCREASE IN CONTRACT COST WILL BE GRANTED UNLESS APPROVED IN WRITING BY THE OWNER. CONTRACT DOCUMENTS ARE INTENTED TO INCLUDE ALL DISCIPLINES AND DIVISIONS OF THE CONTRACT.
30.	ALL INTERIOR EXPOSED PIPING AND EXTERIOR GAS PIPING SHALL BE PRIMED AND PAINTED AS DIRECTED BY ARCHITECT.
31.	ALL GAS LINES INSTALLED ABOVE INACCESSIBLE CEILINGS OR IN CHASES/WALLS SHALL BE FULLY WELDED. JOINTS, VALVES, AND THREADED FITTINGS ARE NOT ACCEPTABLE IN THESE AREAS. PROVIDE PVC SLEEVE OF ALL THESE GAS LINES WITH 2" VENT FROM SLEEVE UP THRU ROOF TO 180 DEGREE ELBOW WITH INSECT SCREEN.
32.	PIPING SHALL NOT BE ROUTED THROUGH ELECTRICAL OR IT ROOMS, OR DIRECTLY ABOVE ELECTRICAL PANELS OR ELECTRICAL EQUIPMENT.
33.	PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILINGS TO ALLOW ACCESS TO VALVES. PROVIDE LABEL ON ACCESS DOOR INDICATED THE EQUIPMENT.
34.	ALL PIECES OF EQUIPMENT WITH INDIRECT WASTE LINES SHALL BE PROVIDE AS TYPE I, COPPER PIPING AND EXTEND TO SPILL TO FLOOR SINK WITH 1" AIR GAP.
35.	PROVIDE RPZ BACKFLOW PREVENTER AT WATER LINE CONNECTIONS TO ALL PIECES OF EQUIPMENT AS REQUIRED BY LOCAL JURISDICTION. ALL WATER LINE CONNECTIONS TO ICE MACHINES, SODA MACHINES, COFFEE MACHINES, AND NON-CARBONATED BEVERAGE DISPENSERS SHALL BE PROVIDED WITH SEPARATE RPZ IN WATER LINE AT EACH PIECE OF EQUIPMENT.
36.	MEDICAL GAS LINES: REFER TO SPECIFICATIONS FOR MEDICAL GAS PIPING MATERIAL. SUPPORT ALL MEDICAL AIR, GAS, OXYGEN, AND VACUUM LINES WITH UNBROUT SUPPORTS WITH PIPE CLAMPS EQUAL TO HYDRODORB GUSH-H-CLAMP. ALL MEDICAL GAS LINES SHALL BE INSTALLED ACCORDING TO ALL REQUIREMENTS OF NFPA 99 CATEGORY 3 SYSTEMS. REFER TO ANY PROJECT SPECIFIC EQUIPMENT DRAWINGS FOR ADDITIONAL INSTALLATION REQUIREMENTS.

PLUMBING LEGEND	
GENERAL SYMBOLS	
XXX-###	PLUMBING FIXTURE OR EQUIPMENT MARK (SEE ABBREVIATION LIST AND SCHEDULES)
—X—	KEYED NOTE
—X—	CONNECT TO EXISTING
△	REVISION NUMBER
X-XXX	DETAIL REFERENCE —INDICATES THE DETAIL NUMBER —INDICATES THE DRAWING SHEET
PIPE SYMBOLS	
—E—	ELBOW DOWN
—U—	ELBOW UP
—T—	TEE UP
—D—	TEE DOWN
—B—	BALL VALVE
—F—	FLOW DIRECTION
—M—	METER
—V—	VALVE IN BOX
—U—	UNION
—C—	CHECK VALVE
—G—	GAS VALVE
—B—	BALANCING VALVE
—S—	STRAINER
—C—	CLEANOUT
—D—	DOUBLE CLEANOUT
—W—	WALL CLEANOUT
—B—	HOSE BIB
—F—	FLOOR DRAIN
—S—	FLOOR SINK
—P—	BACKFLOW PREVENTER
—R—	REDUCED PRESSURE ZONE
—V—	VENT THROUGH ROOF
—G—	GAS REGULATOR, FROM 2 PSI TO —OR— DRAIN PRESSURE, OTHERWISE (GAS LOAD IN MBTUH)
PIPING SYSTEMS	
—E—	EXISTING LINE (XX = SYSTEM)
—D—	DEMO LINE (XX = SYSTEM)
—C—	DOMESTIC COLD WATER LINE
—H—	DOMESTIC HOT WATER LINE
—W—	DOMESTIC HOT WATER RECIRCULATION LINE
—H—	DOMESTIC COLD WATER LINE
—H—	DOMESTIC HOT WATER LINE
—H—	DOMESTIC HOT WATER RECIRCULATION LINE
—S—	SANITARY SEWER
—V—	VENT LINE
—G—	GAS LINE
—F—	FIRE PROTECTION LINE
—G—	GREASE WASTE LINE
—D—	DRAIN LINE
—C—	CONDENSATE DRAIN LINE
—C—	COMPRESSED AIR LINE
—M—	MEDICAL AIR LINE
—O—	OXYGEN LINE
—N—	NITROUS OXIDE LINE
—V—	VACUUM LINE
—W—	WASTE ANESTHESIA DISCHARGE LINE
—E—	ELEVATOR SUMP DISCHARGE LINE
—R—	REVERSE OSMOSIS WATER LINE
—D—	DE-IONIZED WATER LINE
—R—	ROOF DRAIN LINE
—S—	STORM DRAIN LINE
—O—	OVERFLOW DRAIN LINE
—O—	OVERFLOW ROOF DRAIN LINE

PLUMBING ABBREVIATIONS	
AD	ACCESS DOOR
AF	ABOVE FINISHED FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
AHU	AIR HANDLING UNIT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
BF	BOTTLE FILLER
BFC	BELOW FINISHED CEILING
BFP	BACKFLOW PREVENTER
BTU	BRITISH THERMAL UNIT
BOP	BOTTOM OF PIPE
BTUH	BRITISH THERMAL UNIT PER HOUR
CA	COMPRESSED AIR
CD	CONDENSATE DRAIN
CFH	CUBIC FEET PER HOUR
CO	CLEANOUT
CP	CONDENSATE PUMP
CPVC	CHLORINATED PVC
CUI	CONDENSING UNIT
CW	DOMESTIC COLD WATER
D	DRAIN
DCO	DOUBLE CLEANOUT
DI	DE-IONIZED WATER
DEMO	DEMOLITION
ELEC	ELECTRICAL
ESD	ELEVATOR SUMP DISCHARGE
EW	ELECTRIC WATER COOLER
EWT	ENTERING WATER TEMPERATURE
EX	EXISTING
F	FIRE
FCU	FAN COIL UNIT
FCU	FURNACE AND COIL UNIT
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FFM	FEET PER MINUTE
FS	FLOOR SINK
FT	FEET
G	GAS
GAL	GALLONS
GPM	GALLON PER MINUTE
GR	GAS REGULATOR
GUH	GAS-FIRED UNIT HEATER
GW	GREASE WASTE
H	HUMIDIFIER
HB	HOSE BIBB
HC	DOMESTIC HOT WATER CIRCULATION
HD	HUB DRAIN
HP	HORSEPOWER
HW	DOMESTIC HOT WATER
HWCP	HOT WATER CIRCULATING PUMP
IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER
IMB	ICE MAKER BOX
IPC	INTERNATIONAL PLUMBING CODE
IN	INCHES
INWC	INCHES OF WATER COLUMN
KW	KILOWATT
L	LAVATORY
LBS	POUNDS
LWT	LEAVING WATER TEMPERATURE
M	METER
MA	MEDICAL AIR
MAX	MAXIMUM
MB	MOP BASIN
MBH	THOUSAND BTUH
MCA	MINIMUM CURRENT AMPACITY
MECH	MECHANICAL
MIN	MINIMUM
MCP	MAXIMUM OVER CURRENT PROTECTION
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NO	NITROUS OXIDE
NTS	NOT TO SCALE
O	OXYGEN
OD	OUTSIDE DIAMETER
OD	OVERFLOW DRAIN
ORD	OVERFLOW ROOF DRAIN
P	PUMP
PD	PRESSURE DROP
PH	PHASE
PEX	CROSS-LINKED POLYETHYLENE
PRV	PRESSURE REDUCING VALVE
PSI	POUNDS PER SQUARE INCH
PVC	POLY VINYL CHLORIDE
RB	REFRIGERATOR BOX
RD	ROOF DRAIN
RH	ROOF HYDRANT
RO	REVERSE OSMOSIS WATER
RPM	REVOLUTIONS PER MINUTE
RPZ	REDUCED PRESSURE ZONE (RPZ)
RTU	ROOFTOP UNIT
S	SINK
SD	STORM DRAIN
SQFT	SQUARE FEET
SS	SANITARY SEWER
S.S.	STAINLESS STEEL
T	TEMPERATURE
TAP	TEMPERATURE
U	URINAL
UH	UNIT HEATER
V	VENT
V	VOLTS
VAC	VACUUM
VFD	VARIABLE FREQUENCY DRIVE
VTR	VENT THROUGH ROOF
W	WITH
WO	WITHOUT
WB	WASHER BOX
WC	WATER CLOSET
WCO	WALL CLEANOUT
WH	WATER HEATER





1/P2 FIRST FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"

GENERAL NOTES	
A. REFER TO SHEET P0 FOR ALL GENERAL NOTES APPLICABLE TO THIS SHEET.	
KEYED NOTES	
1.	NEW SINK INSTALLED IN SAME LOCATION AS REMOVED SINK. MODIFY EXISTING ROUGH-IN AS REQUIRED.
2.	EXISTING SINK TO REMAIN. PROVIDE NEW FAUCET TO REPLACE EXISTING FAUCET. NEW FAUCET SHALL BE T&S BRASS B-0892, OR APPROVED EQUAL. ALL OTHER EXISTING SINK COMPONENTS TO REMAIN.

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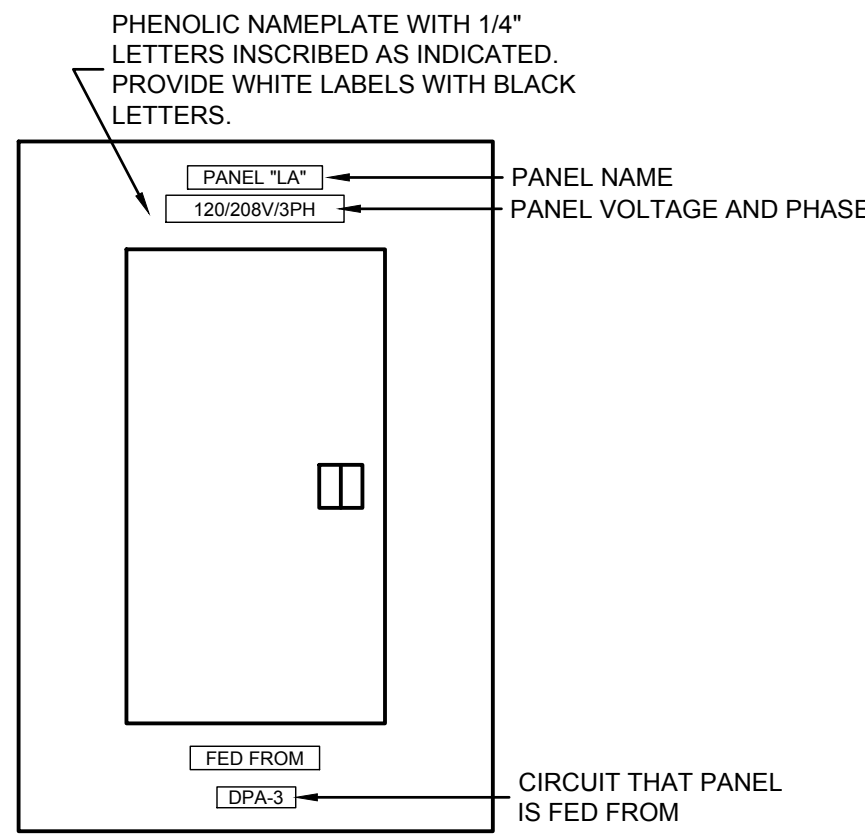
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P2	
3	OF 3

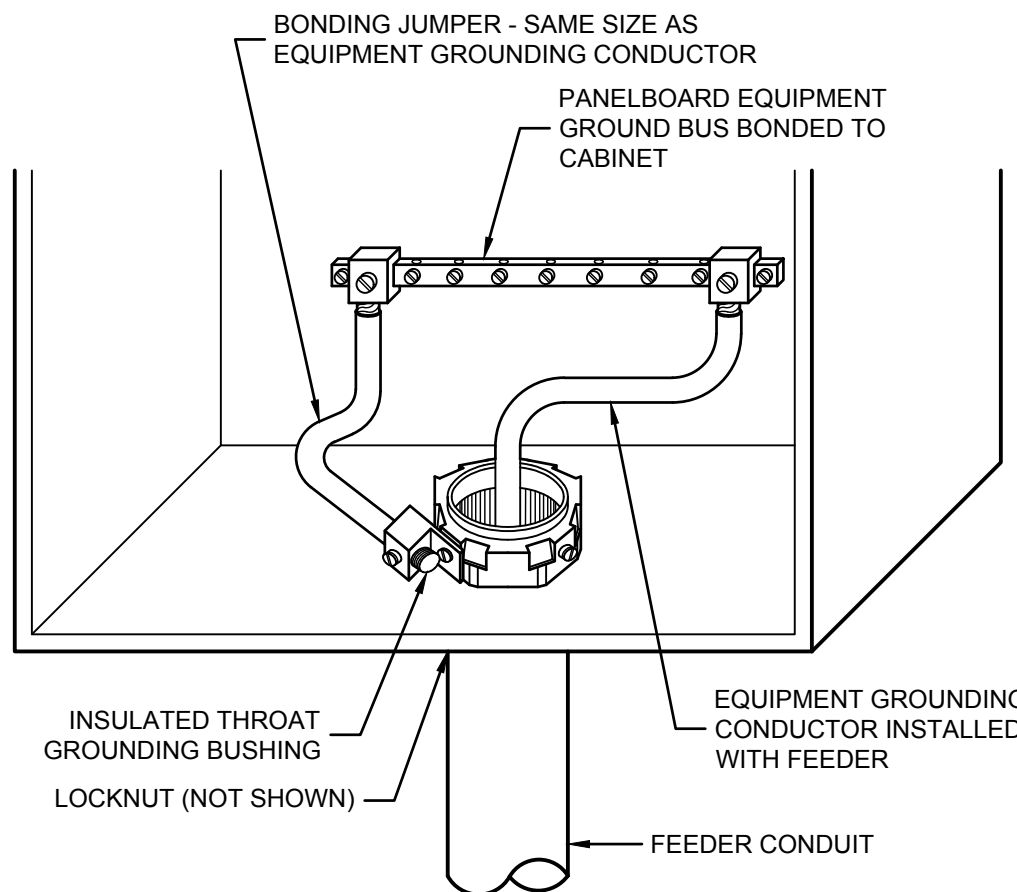
GENERAL NOTES	
A.	ALL ELECTRICAL DEVICES SHOWN DASHED, OR ON DASHED WALLS, ALONG WITH ALL WIRING AND CONDUIT ASSOCIATED WITH DEVICE SHALL BE REMOVED BACK TO POINT OF ORIGIN UNLESS NOTED OTHERWISE.
B.	VERIFY EXACT LOCATION OF ALL DEVICES AND CONDUIT TO REMAIN.
C.	THE ELECTRICAL CONTRACTOR SHALL PROTECT ALL DEVICES AND WIRING TO REMAIN DURING CONSTRUCTION.
D.	ALL POWER AND COMMUNICATIONS OUTAGES SHALL BE COORDINATED WITH OWNER AND ARCHITECT PRIOR TO OUTAGE. PROVIDE TEMPORARY CONNECTIONS (POWER AND COMMUNICATION WIRING) TO EQUIPMENT TO MAINTAIN SERVICE DURING CONSTRUCTION AS REQUIRED.
E.	REFER TO ARCHITECTURAL PLANS FOR WALLS TO RECEIVE NEW PAINT AND FINISH UPGRADES. COORDINATE REMOVAL OF DEVICES/COVER PLATES WITH ARCHITECTURAL PLANS.
F.	VERIFY ALL ELECTRICAL INSTALLATIONS WITH LOCAL CODES AND CITY ORDINANCES PRIOR TO INSTALLATION.
G.	ANY OUTLET, SWITCH, RECEPTACLE, FIXTURE OR PANEL MAY BE RELOCATED WITHIN A TEN (10) FOOT RADIUS OF THE INDICATED LOCATION WITHOUT ADDITIONAL CHARGE TO OWNER.
H.	THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXACT POWER REQUIREMENTS FOR OWNER FURNISHED EQUIPMENT PRIOR TO ROUGH-IN. TERMINATE AS DIRECTED BY EQUIPMENT NAME PLATES. COORDINATE EXACT LOCATION FOR INSTALLATIONS WITH OWNER PRIOR TO ROUGH-IN. NOTIFY ENGINEER IF ALTERNATE POWER IS REQUIRED.
I.	DATA/TELEPHONE/TV OUTLETS SHALL BE INSTALLED WITH 1" CONDUIT EXTENDED TO AN ACCESSIBLE POINT ABOVE CEILING AND PROVIDED WITH PULL STRING. COORDINATE ALL TELEPHONE, TV AND DATA LOCATIONS WITH OWNER.
J.	PROVIDE DEDICATED NEUTRAL WIRE FOR EACH 120V CIRCUIT BREAKER.
K.	PROVIDE MOTOR RATED SWITCHES FOR EACH 120V HVAC CONNECTIONS. OVERLOADS SHALL MATCH MOTOR RATING.
L.	CONTRACTOR SHALL PROVIDE NEMA 3R DISCONNECT SWITCHES FOR ALL EXTERIOR HVAC EQUIPMENT. INTERIOR DRY LOCATION DISCONNECT ENCLOSURES SHALL BE RATED NEMA 1.
Q.	ALL CONDUITS SERVING ROOF-MOUNTED EQUIPMENT SHALL BE EXTENDED INSIDE THE UNIT CURBS TO AVOID ADDITIONAL PITCHPANS. ALL EXTERIOR CONDUIT SHALL BE RIGID GALVANIZED STEEL OR LIQUID TIGHT FLEXIBLE CONDUIT AS SPECIFIED.
R.	WHERE GFCI PROTECTION IS REQUIRED BY CODE AND CONNECTION IS LOCATED BEHIND EQUIPMENT, CONTRACTOR SHALL PROVIDE GFCI.
S.	REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT DEVICE PLACEMENTS IN ALL SPACES.
T.	ALL SWITCHES, RECEPTACLES, DISCONNECTS, FACEPLATES, AND PANELS SHALL BE PROVIDED WITH A LABEL (NON-REMOVABLE) INDICATING PANEL AND CIRCUIT NUMBER SERVING DEVICE AS REQUIRED BY NFPA AND TDH. "RED" FOR EMERGENCY POWER AND "BLACK" FOR NORMAL POWER. LABEL SHALL BE APPROVED BY UMC PERSONNEL AND ARCHITECT.
U.	COORDINATE DEVICE AND COVER-PLATE FINISHES WITH UMC PERSONNEL AND ARCHITECT PRIOR TO ORDERING.

ELECTRICAL ABBREVIATIONS	
ABOVE COUNTER	AC
ABOVE FINISHED FLOOR	AFI
ALTERNATING CURRENT	AC
AMERICAN NATIONAL STANDARDS INSTITUTE	ANSI
AMERICAN SOCIETY FOR TESTING AND MATERIALS	ASTM
AMERICAN WIRE GAUGE	AWG
AMPERE	AMP
AMPHOUR	AH
AMPERE INTERRUPTING CAPACITY	AIC
ARC FAULT CIRCUIT INTERRUPTER	AFCI
AUTHORITY HAVING JURISDICTION	AJH
AUTOMATIC TRANSFER SWITCH	ATS
BATTERY	BAT
BUILDING AUTOMATION SYSTEM	BAS
CEILING	C
COAXIAL CABLE	COAX
COLOR RENDERING INDEX	CR
COMMUNICATIONS	COMM
CONDUIT	C
CONTROL	CTRL
COPPER	CU
CURRENT TRANSFORMER	CT
DECEL (BOUND)	dB
DEMOLITION	DEMO
DIRECT CURRENT	DC
DOUBLE POLE, DOUBLE THROW	DPT
DOUBLE POLE, SINGLE THROW	DPST
ELECTRIC	ELEC
ELECTRICAL METALLIC TUBING	EMT
ELECTRICAL NONMETALLIC TUBING	ENT
FIRE ALARM ANNUNCIATOR PANEL	FAAP
FIRE ALARM CONTROL PANEL	FACP
FLEXIBLE METALLIC CONDUIT	FMC
FOOTCANDLE	FC
FULL LOAD AMPS	FLA
GAUGE	GA
GROUND	GND
GROUND FAULT CIRCUIT INTERRUPTER	GFCI
HORSEPOWER	HP
INTERMEDIATE METAL CONDUIT	IMC
INTERNATIONAL BUILDING CODE	IBC
KILOVOLT	kV
KILOVOLT AMP	kVA
KILOWATT	kW
KILOWATT HOUR	kWh
LIQUIDTIGHT FLEXIBLE METAL CONDUIT	LFMC
LIQUIDTIGHT FLEXIBLE NONMETALLIC CONDUIT	LFNC
LOW VOLTAGE	LV
LUMEN	LM
LUMENS PER WATT	LPW
MAIN CIRCUIT BREAKER	MCB
MAIN LUGS ONLY	MLO
MINIMUM	MIN
MINIMUM CIRCUIT AMPS	MCA
MOTOR CONTROL CENTER	MCC
NATIONAL ELECTRICAL CODE	NEC
NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION	NEMA
NATIONAL FIRE CODE	NFC
NATIONAL FIRE PROTECTION ASSOCIATION	NFPA
NOTIFICATION APPLIANCE CIRCUIT	NAC
PANELBOARD	PB
PHASE	PH
POLY VINYL CHLORIDE	PVC
POWER FACTOR	PF
PUBLIC ADDRESS	PA
RECEPTACLE	RECEPT
RIGID GALVANIZED STEEL	RGS
RIGID NONMETALLIC CONDUIT	RNC
SINGLE PHASE	1 Ø
SINGLE POLE, DOUBLE THROW	SPDT
SINGLE POLE, SINGLE THROW	SPST
SWITCHBOARD	SWBD
THREE PHASE	3 Ø
TELEPHONE TERMINAL BOARD	TTB
UNINTERRUPTIBLE POWER SUPPLY	UPS
VARIABLE FREQUENCY DRIVE	VFD
VOLT, VOLTS, VOLTAGE	V
VOLT AMPERE	VA
WEATHERPROOF	WP

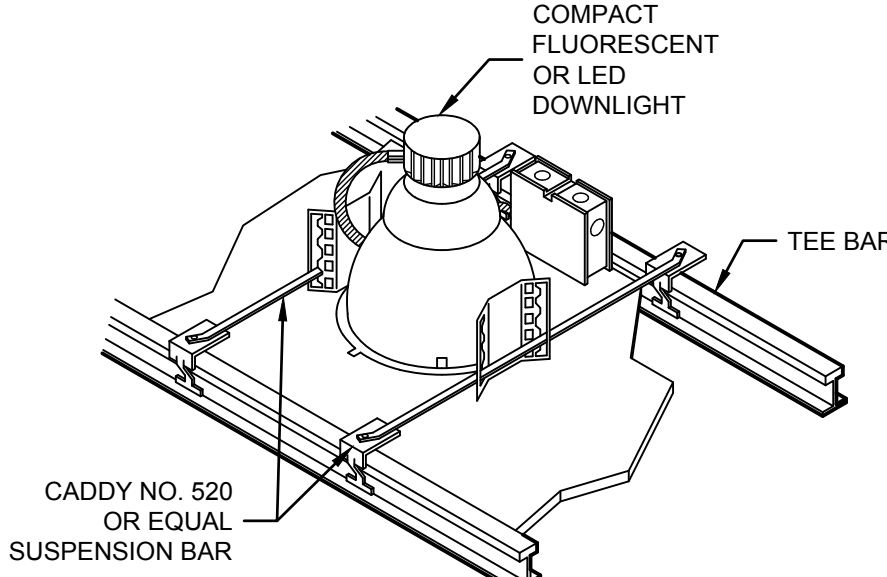
ELECTRICAL SYMBOL SCHEDULE			
	2W RECESSED LIGHT FIXTURE		DUPLEX RECEPTACLE - 20A, 125V, 2P, 3W, GROUNDING
	DOWN LIGHT FIXTURE		CRITICAL RECEPTACLE
	WALL MOUNTED LIGHT FIXTURE		JUNCTION BOX
	PENDANT LIGHT FIXTURE		CIRCUIT RUN TO PANELBOARD - NUMBER OF WIRES SHOWN
	EXIT SIGN - NUMBER OF FACES INDICATED BY SHADING		CIRCUIT INDICATOR
	SPST WALL SWITCH		DISTRIBUTION PANELBOARD
	DIMMING SWITCH		SURFACE MOUNTED LIGHTING AND APPLIANCE PANELBOARD
	THREE-WAY SWITCH		NURSE CALL STAFF STATION
	OCCUPANCY SENSOR		WALL MOUNTED TELEPHONE/DATA OUTLET
	POWER PACK		
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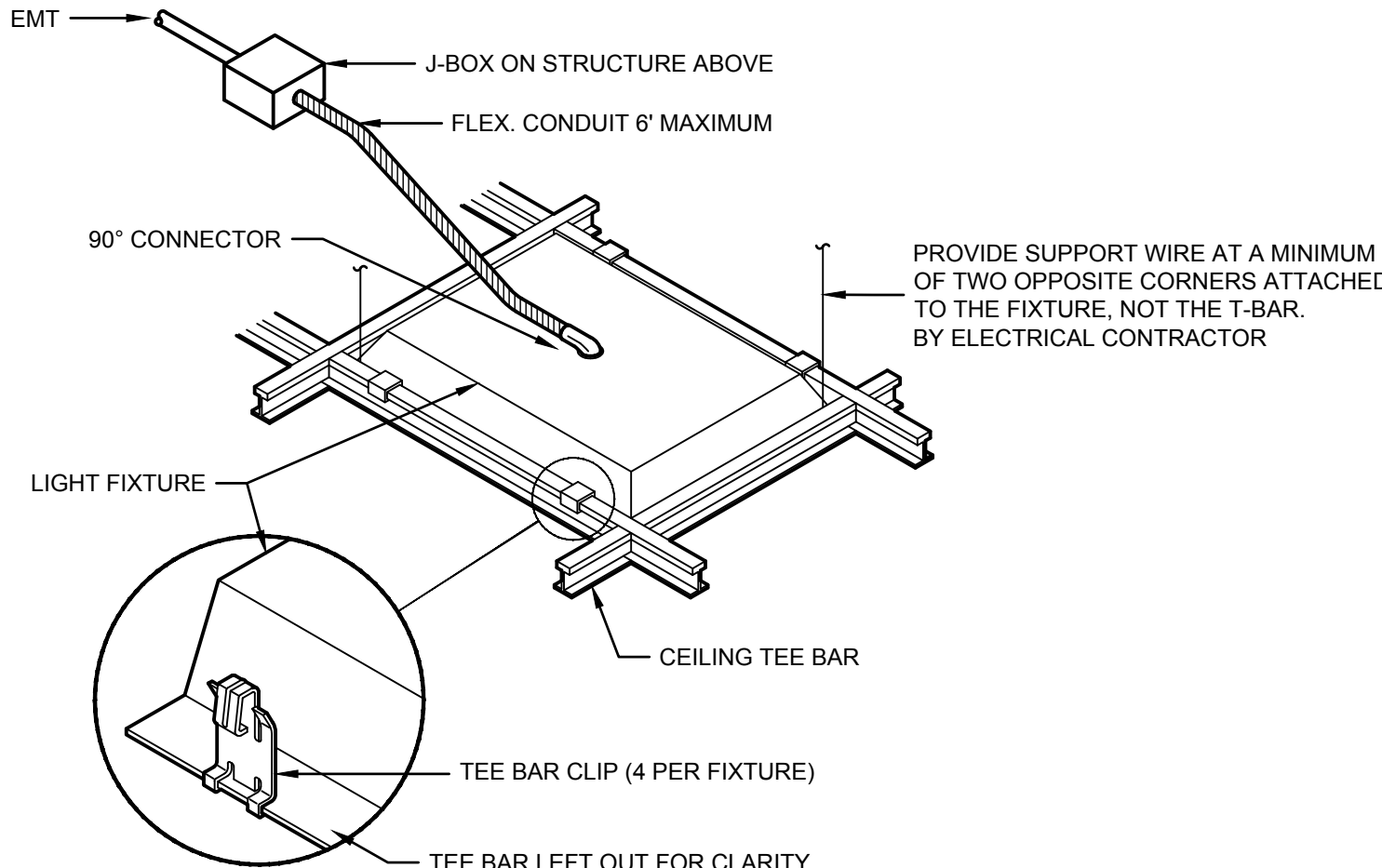
TYPICAL FOR ALL PANELBOARDS
PANEL IDENTIFICATION DETAIL
NO SCALE



PANELBOARD BONDING DETAIL
NO SCALE

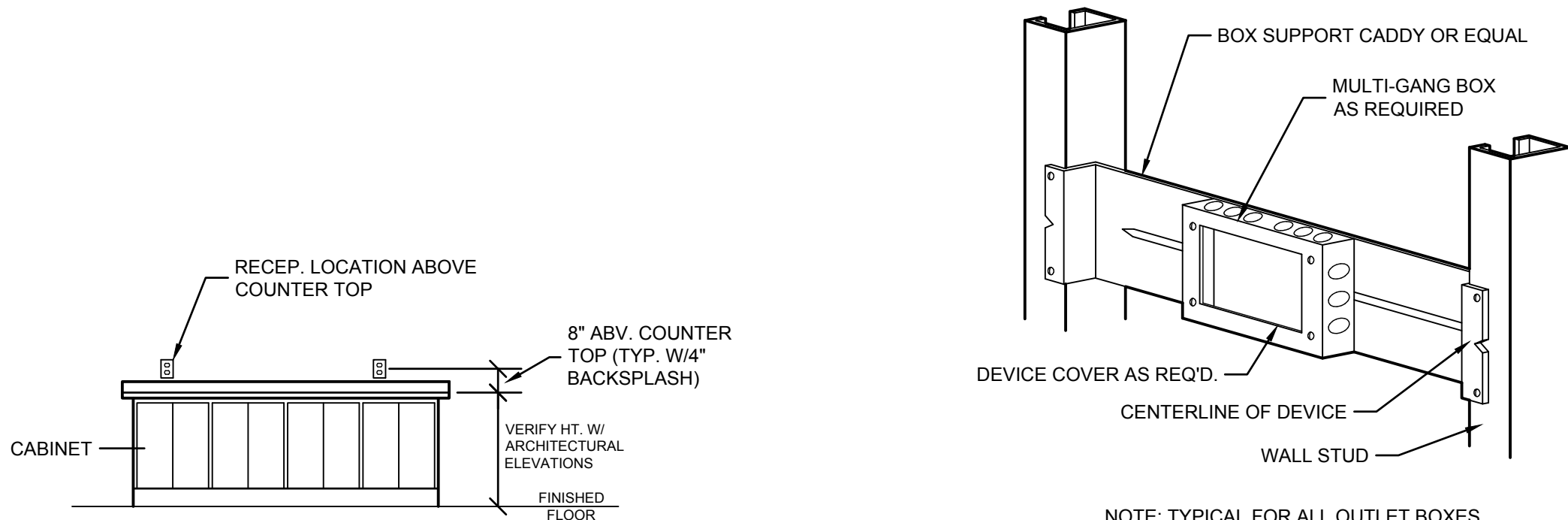


DOWNLIGHT DETAIL
NO SCALE



NOTE: TYPICAL FOR ALL LIGHT FIXTURES

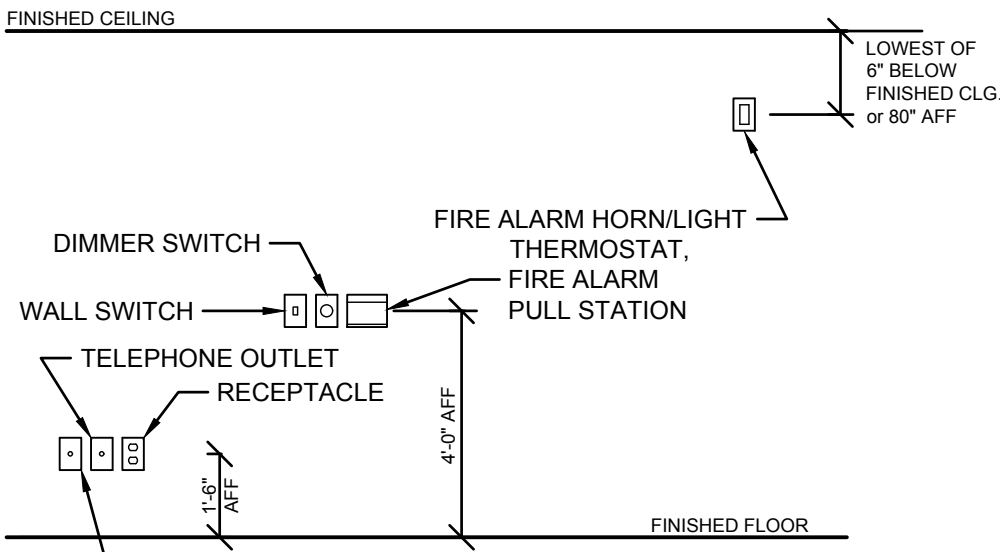
LAY-IN LIGHT FIXTURE DETAIL
NO SCALE



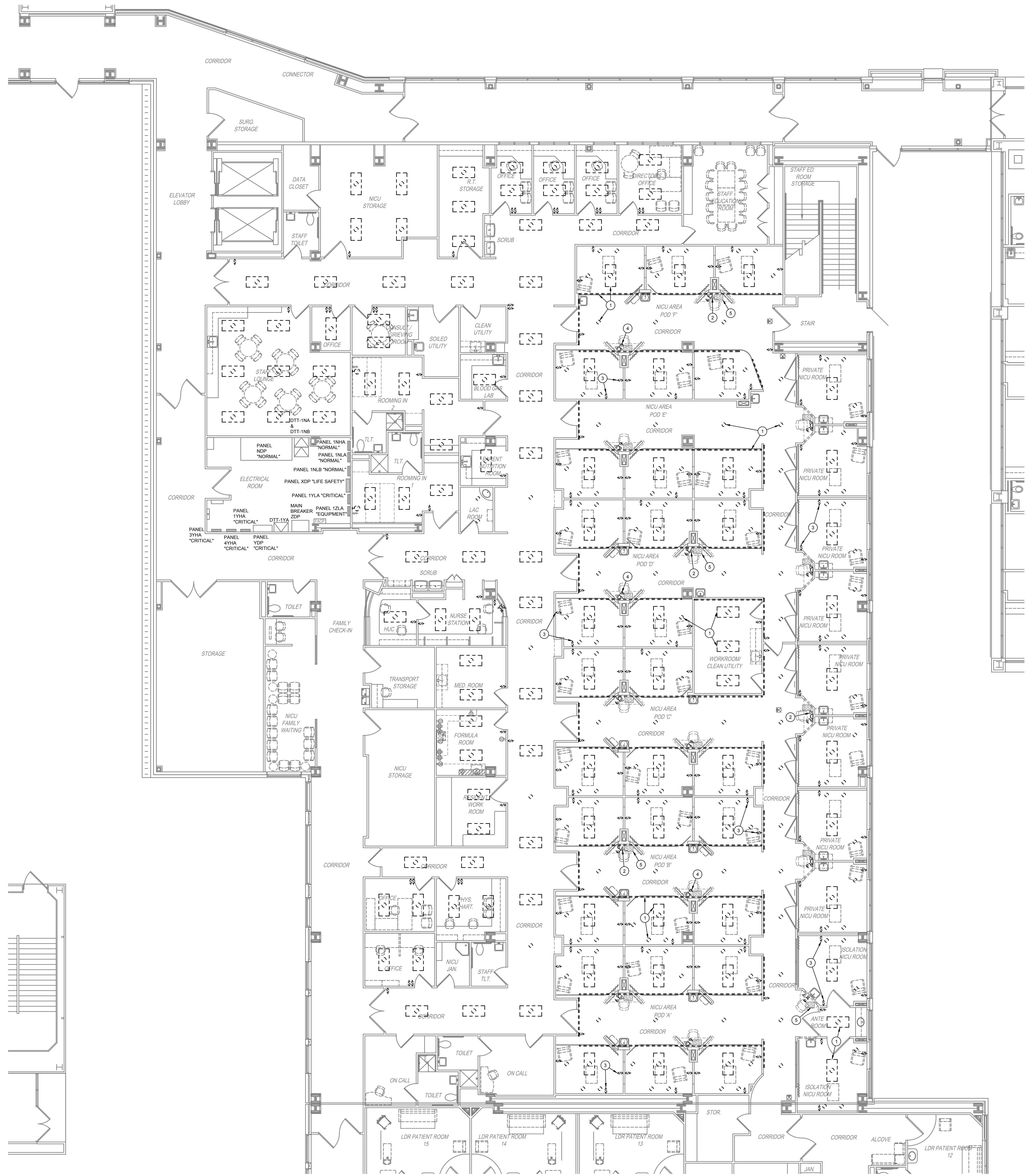
WIRING DEVICE MOUNTING HEIGHT
NO SCALE

NOTE: TYPICAL FOR ALL OUTLET BOXES

MULTI-GANG OUTLET BOX DETAIL
NO SCALE



WIRING DEVICE MOUNTING HEIGHTS - TYPICAL
NO SCALE



- KEYED NOTES**
1. LIGHT FIXTURES SHALL BE DEMOLISHED.(TYPICAL)
 2. EXISTING DATA OUTLET SHALL REMAIN. PROVIDE NEW COVERPLATE ON EXISTING DEVICE. (TYPICAL)
 3. EXISTING LIGHT SWITCH AND COVERPLATE SHALL BE REPLACED. BACKBOX AND CONDUIT CAN BE REUSED IF IN GOOD WORKING CONDITION. (TYPICAL)
 4. REMOVE EXISTING RECEPTACLE. EXISTING BACKBOX AND CONDUIT MAY BE REUSED. (TYPICAL)
 5. EXISTING HILLROM STAFF STATIONS SHALL BE REMOVED AND REINSTALLED IN NEW WALLSWALL COVERINGS AS REQUIRED. DURING CONSTRUCTION, PROTECT ALL HILLROM DEVICES NOT BEING REMOVED. (TYPICAL)

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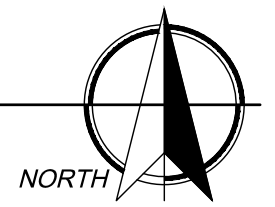
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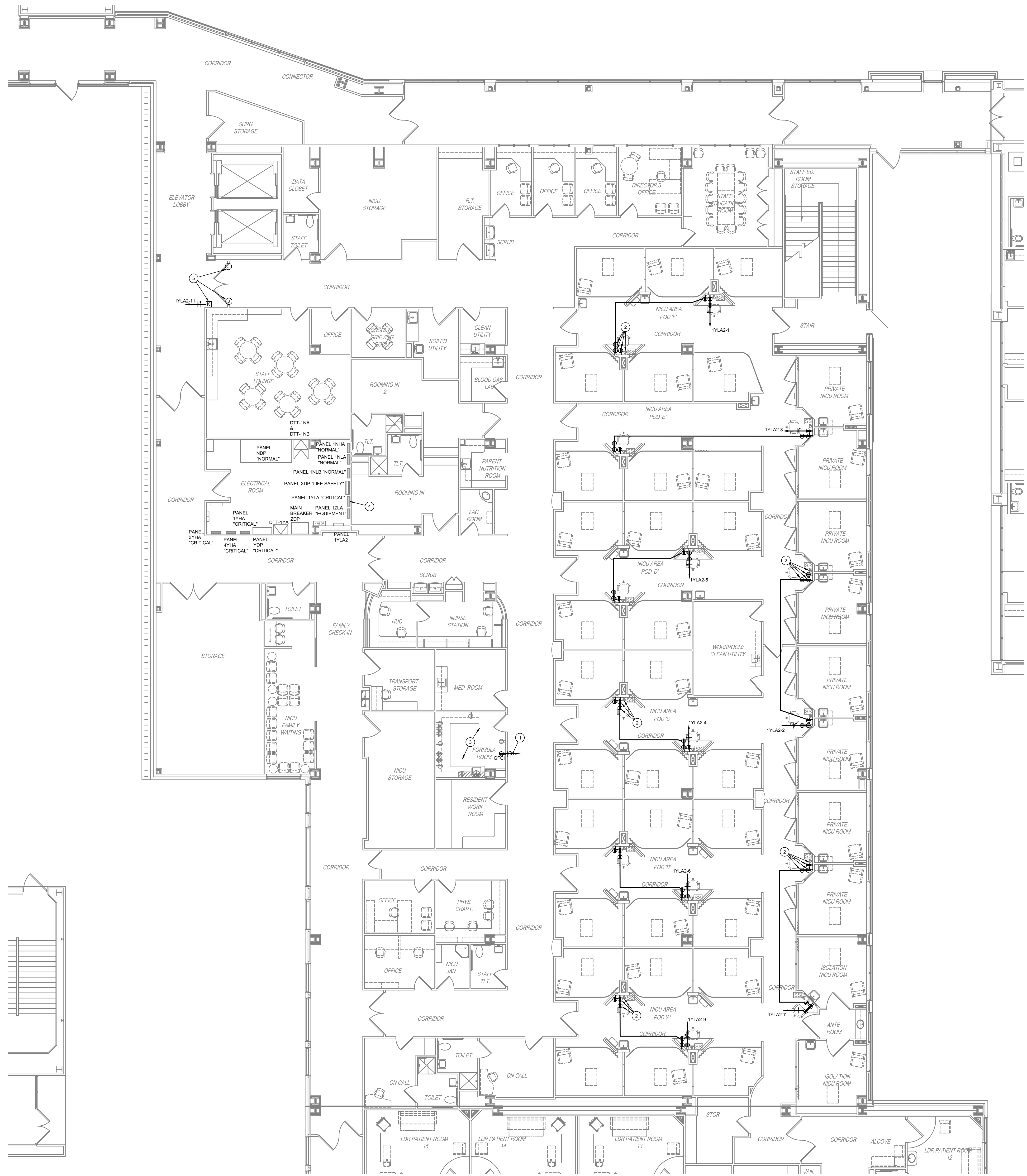
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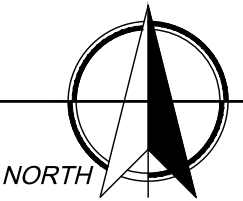
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SHEET NO.
E1
2 OF 5





1/E3 FIRST FLOOR PLAN - POWER & COMMUNICATION
SCALE: 1/8" = 1'-0"



- KEYED NOTES**
1. EXTEND AND CONNECT TO CRITICAL BRANCH PANEL SERVING AREA.
 2. COORDINATE DEVICE MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS (TYPICAL).
 3. FIELD VERIFY EXISTING RECEPTACLE/OUTLET LOCATIONS IN ROOM. ADJUST HEIGHT AS REQUIRED TO ACCOMMODATE NEW MILLWORK. COORDINATE REQUIREMENTS WITH ARCHITECT. PROVIDE GFCI DEVICES AS REQUIRED BY NEC.
 4. EXISTING PANEL "1YLA1": FIELD VERIFY EXISTING CONDITIONS. REMOVE THREE CONSECUTIVE 1P CIRCUIT BREAKER AND RELOCATE TO NEW PANEL "1YLA2". PROVIDE 100A/3P CIRCUIT BREAKER (MATCH EXISTING) TO SERVE NEW PANEL "1YLA2".
 5. PROVIDE 120V CONNECTION, BACKBOX AND PATHWAY AS REQUIRED FOR TAP BADGE/SECURE DOOR. COORDINATE CONNECTION REQUIREMENTS WITH EQUIPMENT PROVIDER AND UMC PERSONNEL.

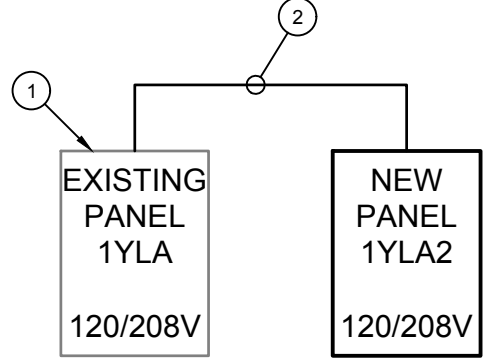
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E3	
4	OF 5



CONNECTED LOAD: 10,100			
PHASE A:	3600	AMPS	30
PHASE B:	3600	AMPS	30
PHASE C:	2900	AMPS	24

LIGHT FIXTURE SCHEDULE GENERAL NOTES

A. COORDINATE/CONFIRM ALL FIXTURE FINISHES WITH ARCHITECT DURING SUBMITTAL STAGE.

NOTES:

A. REFER TO MANUFACTURER'S DETAILS FOR LIGHTING CONTROL WIRING DIAGRAMS.

B. COORDINATE WITH LIGHTING CONTROLS MANUFACTURER PRIOR TO ROUGH-IN OF ANY CONDUIT OR WIRING FOR LIGHTING SYSTEM TO VERIFY WIRING REQUIREMENTS WITH LIGHTING CONTROL SYSTEM PROVIDED ON PROJECT. SENSOR SHALL PROVIDE COVERAGE OF ROOM/AREA TO PROVIDE ADDITIONAL SENSORS AS REQUIRED BY MANUFACTURER.

C. LIGHTING CONTROL SYSTEM TO BE FULLY COMMISSIONED AND PROGRAMMED BY FACTORY TRAINED MANUFACTURERS REPRESENTATIVE. PROVIDE COMPLETE TRAINING TO OWNER. CONTRACTOR SHALL CONTACT MANUFACTURER AT LEAST 3 WEEKS PRIOR TO COMPLETION OF WORK TO SCHEDULE COMMISSIONING.