



ADDENDUM No. 1

PROJECT: University Medical Center Physicians DATE: 02/19/2025
New Wolfforth Clinic PROJECT NO.: 22415
Project Location

The following items take precedence over the drawings and project manual for the above-named project and in closing a contract shall become a part of the contract documents.

Where any item called for in the specifications or indicated on the drawings, is supplemented here, the original requirements remain in effect. Consider all supplemental conditions as added to the specifications and drawings.

Where any original item is amended, voided or superseded here, the provisions of such items not specifically amended, voided or superseded remain in effect.

ITEM #1: Fencing work – On Sheet SP1, at the north end of the property there is an existing Utility yard indicated that has an existing wood picket fence mounted on steel fence posts with two swing gates located on the north side. Contractors shall include pricing to replace all wood pickets, horizontal rails and top trim rails with new material to match other wood picket fencing indicated on the project. All gate hardware should be planned to be reused. The existing utility yard is approximately 80 l.f. perimeter.
Contractors shall also include pricing to stain all new wood fence materials.

ITEM #2: Flooring Accent – On sheet I-01, in Corridor C02120, there shall be an accent stripe of LVT4 material added in this corridor. The accent stripe shall be 2' wide by 18' long, centered in the hallway, and centered between the two Provider Office doors.

ITEM #3: Wall base – On sheet I-02, in Vestibule C02101, delete Keyed Note #9. There shall be 6" wall base installed on this wall.

ITEM #4: Wall Type – All walls around Well Waiting C02106 and walls above doors 102A and 108A are to be Partition Type P2.

ITEM #5: Mow Strip – On sheet SP-01, at locations indicated with Keyed note 12 and 13 referring to the mow strip, provide a 6" deep concrete mow strip with (2) #3s continuous with #3 ties at 24" o.c. Install control joints at 10'-0" o.c. max.

ITEM #6: Keyed Notes – On sheet A-03, Keyed note 13, change the detail reference to be 06/A-03 and on Keyed note 19, change the detail reference to be 14/A-03. On sheet A-14, Keyed Note 18, change the detail reference to be Elevation 09/A-15.

ITEM #7: Aluminum Siding – To clarify, On Sheet A20, Detail 26 should show Aluminum Siding above the overhead doors, not stone. Flashing and terminations remain the same.

ITEM #8: Thermostat location – Relocate the Thermostat shown near Reception/Registration C02108 adjacent to Door 102A to be around the corner adjacent to Door 108A.

ITEM #9: Plumbing Sheet References – On sheet P-02, Change Plumbing Riser References from P-06 to P-07 Sheet references.

ITEM #10: Approved Building Management Systems – In the Project Manual, Section 230590, paragraph 1.3, Johnson Controls (JCI) shall be added as an approved manufacturer.

ITEM #11: Overhead Door Controls – On sheet E-03, relocate the power and door controls indicated on the east side of the east two doors to be located between the two doors as indicated on Elevations on Sheet A-12.

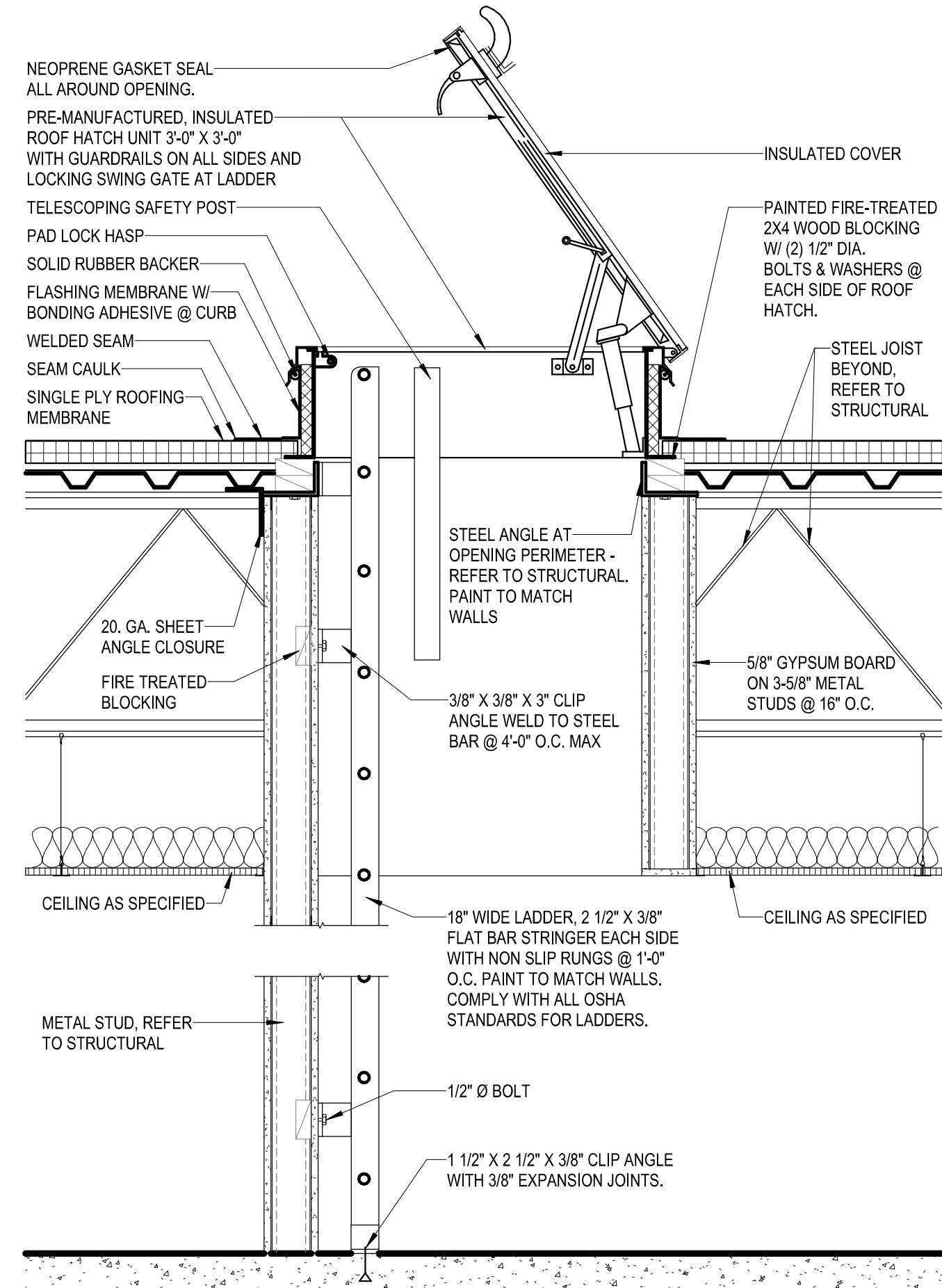
ITEM #12: Pre-Proposal Attendance Sheet – Please refer to the attached Pre-proposal Attendance Sheet for reference.

ITEM #13: Pre-Proposal Questions and clarifications –

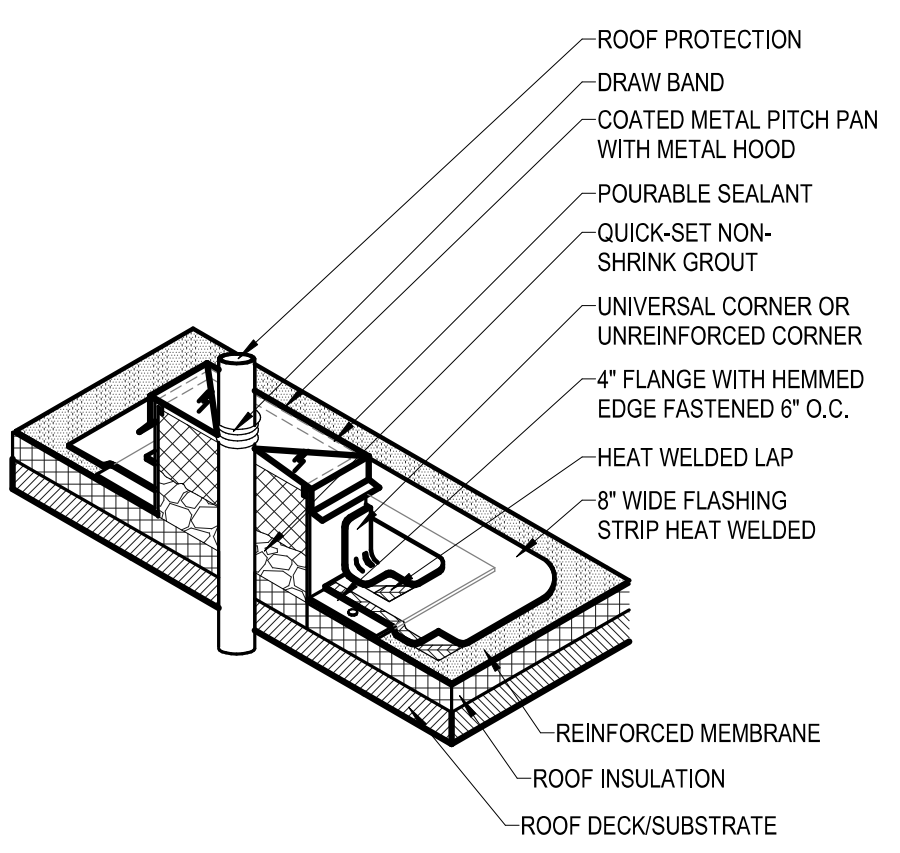
- Procurement Supplement and subs/hubs must be submitted as a hard copy in the same manner as the Proposal packet.
- Per the Contract Documents, Sub-Contractors are not required to be bonded. The General Contractor is required to carry the Bonds described.
- The Owner will be paying for the Commercial Building Permit fee and required Water Impact fees only. Any additional fees required for subsequent permits or inspections shall be bore by the Contractor.
- The Owner will contract directly with Testing agencies for Testing to include soils, concrete, and Mechanical Test and Balance. The Contractor shall coordinate with the Owner's provider of these services to schedule required testing. Contractor shall include the Owner and Architect on all correspondence for testing. Contractor shall be responsible for cost of re-testing of any materials that fail to meet the initial required testing standards.

ITEM #14: Roof Ladder – Refer to attached, revised sheet A-04 for added roof over parapet ladder and graphics cleanup to show mechanical units.

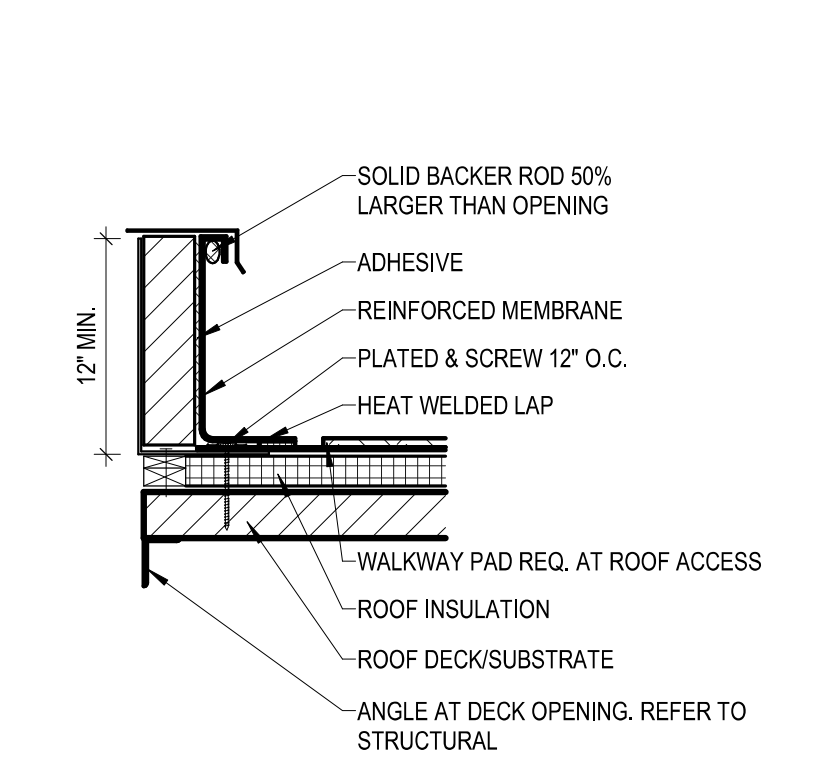
End of Addendum



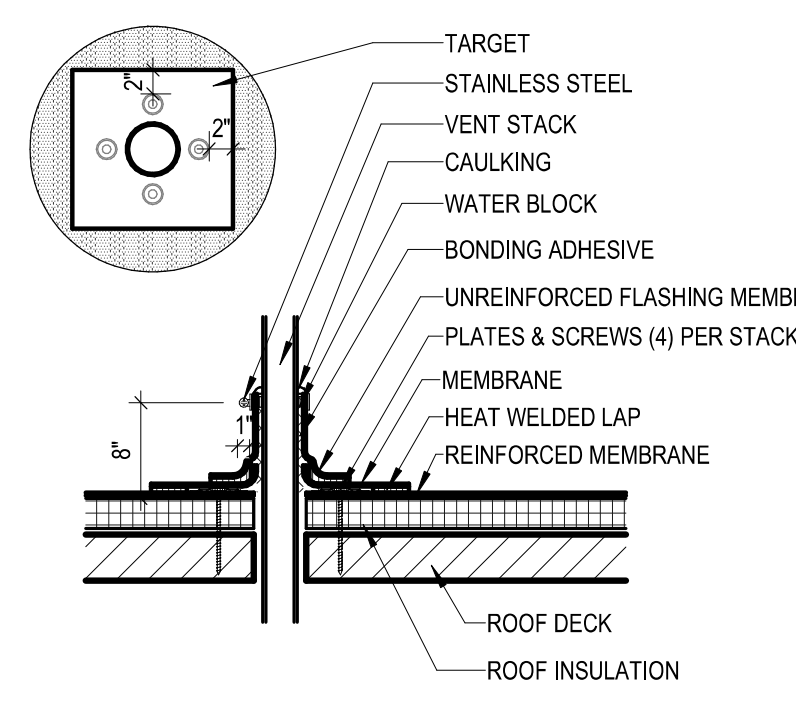
26 ROOF HATCH AND LADDER DETAIL



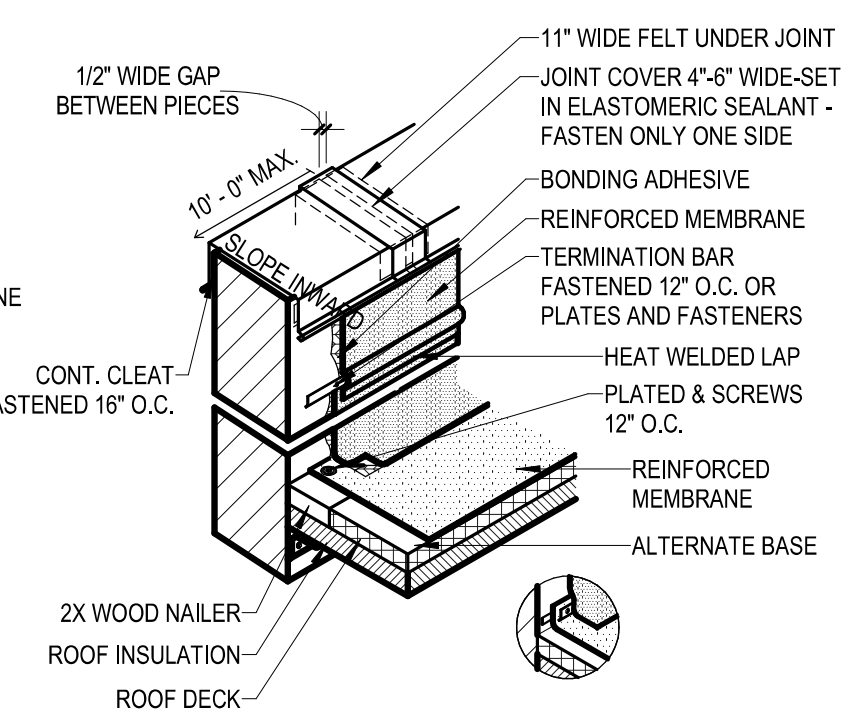
27 PITCH PAN ISOMETRIC
 SCALE: 3/4" = 1'-0"



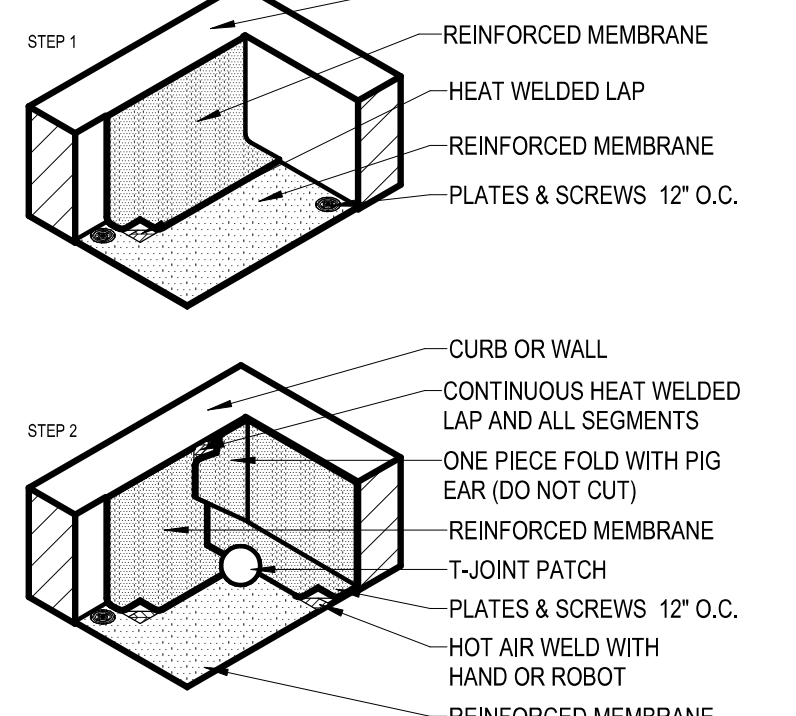
28 CURB DETAIL
 SCALE: 3/4" = 1'-0"



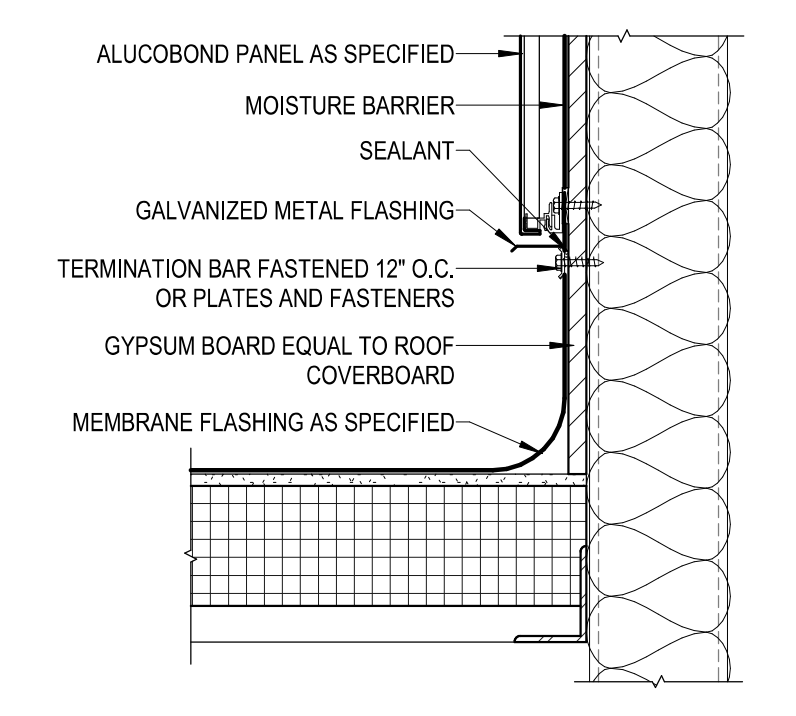
17 TYP. FLUE PIPE DETAIL
 SCALE: 3/4" = 1'-0"



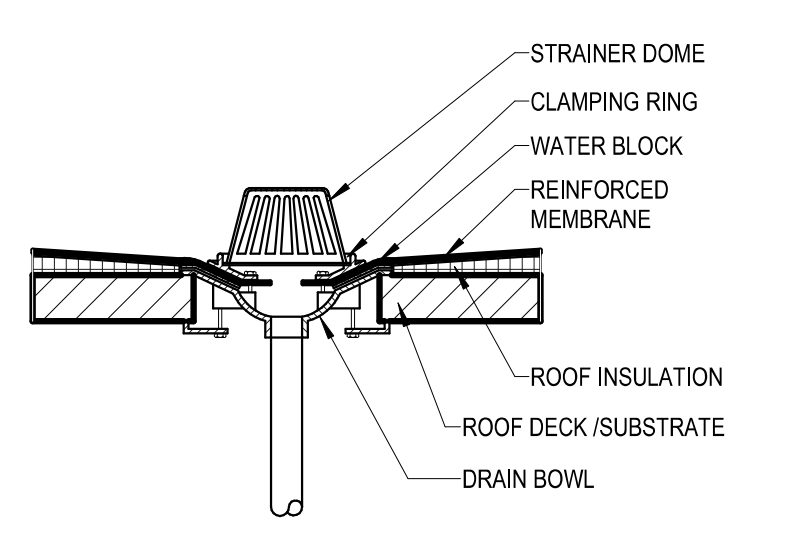
13 TYP. TPO DETAIL
 SCALE: 3/4" = 1'-0"



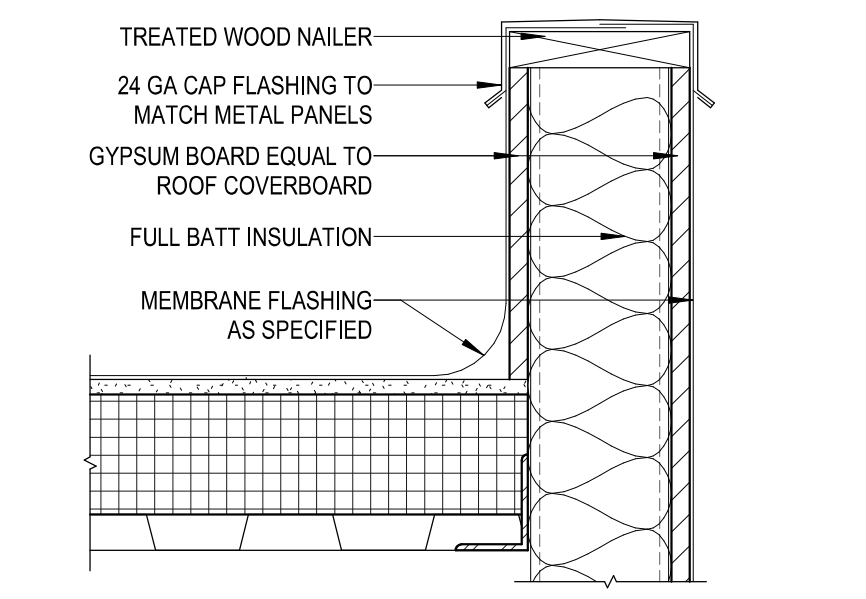
9 TYP. TPO DETAIL
 SCALE: 3/4" = 1'-0"



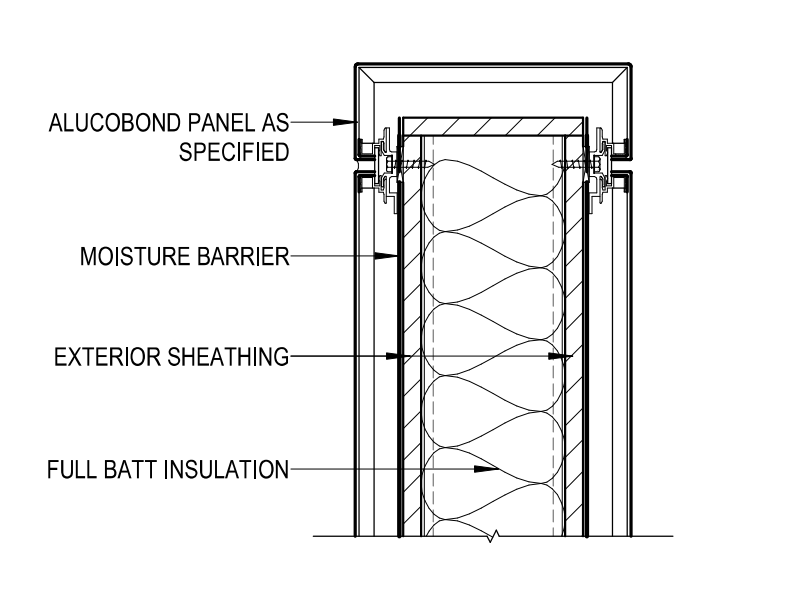
5 TYP. TPO DETAIL
 SCALE: 1 1/2" = 1'-0"



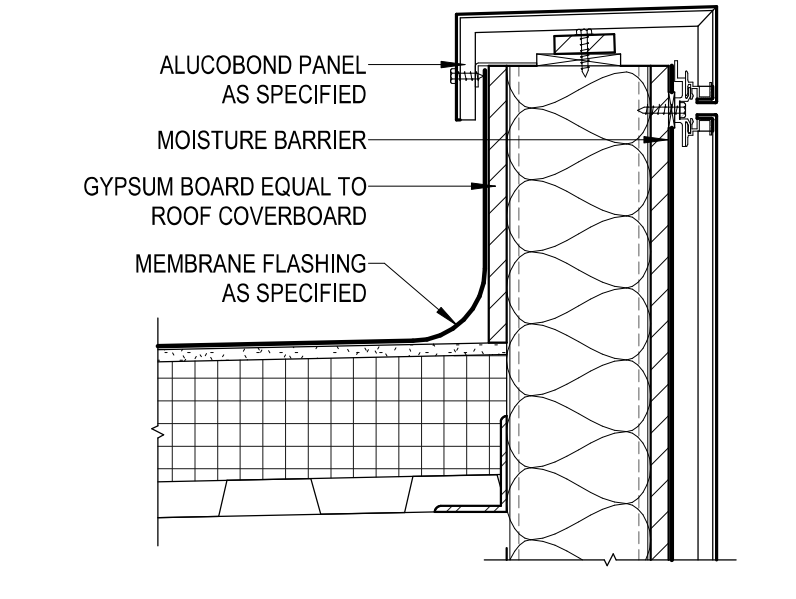
18 TYP. TPO DETAIL
 SCALE: 3/4" = 1'-0"



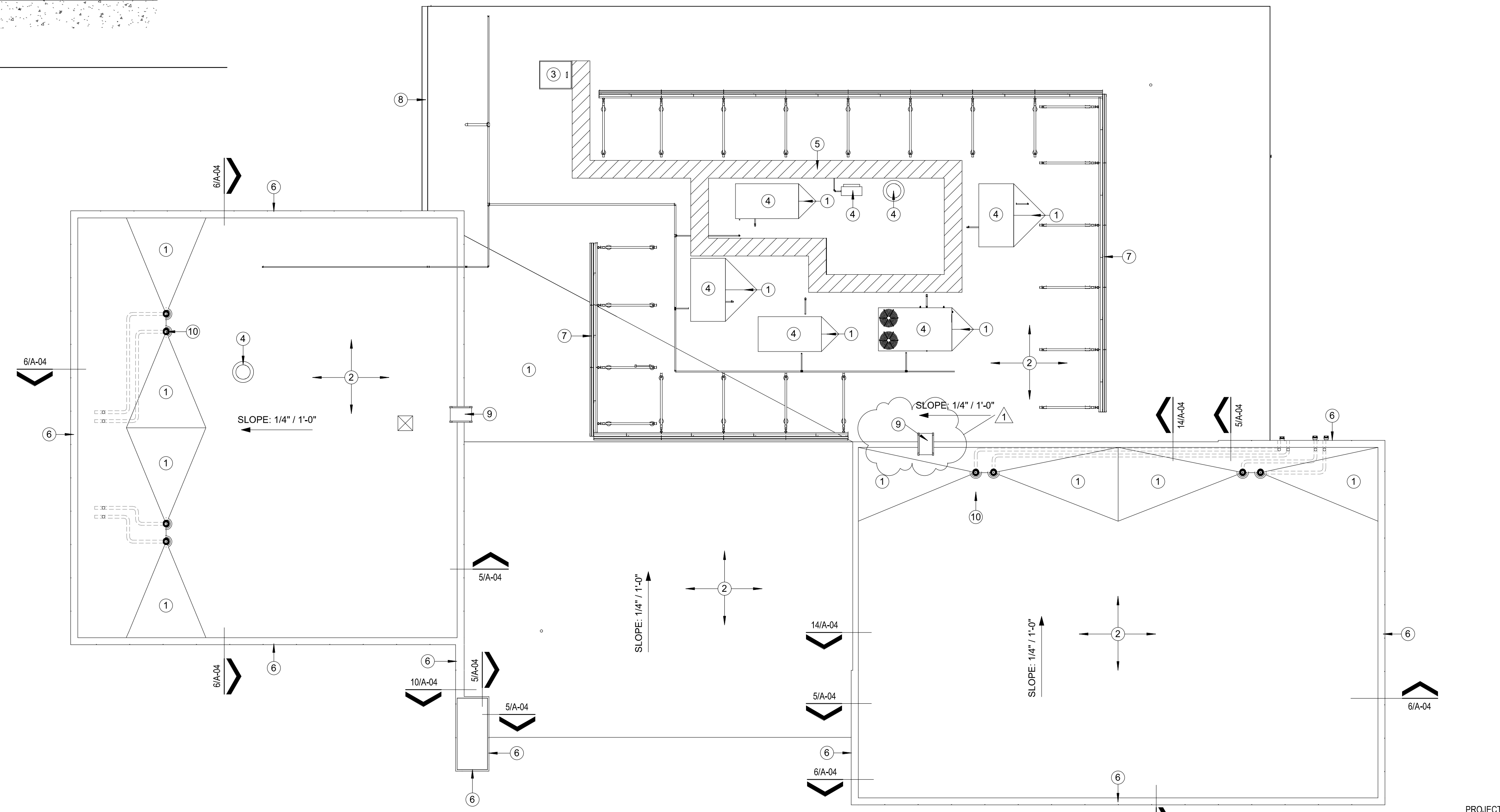
14 DETAIL
 SCALE: 1 1/2" = 1'-0"



10 DETAIL
 SCALE: 1 1/2" = 1'-0"



6 DETAIL
 SCALE: 1 1/2" = 1'-0"



24 ROOF PLAN
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL ROOFING IS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDED INSTALLATION METHODS AND UTILIZED APPROVED SYSTEM DETAILS.
2. REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL ROOFTOP MOUNTED EQUIPMENT, PENETRATIONS, DETAILS AND INFORMATION. ALL PENETRATIONS, TERMINATIONS, CHANGES OF MATERIAL, JOINTS, ETC. ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTION FOR A COMPLETE AND PROPER SYSTEM.
3. CONTRACTOR TO BE RESPONSIBLE FOR KEEPING THE BUILDING WEATHER-TIGHT THROUGH ALL PHASES OF CONSTRUCTION INCLUDING TEMPORARY ENCLOSURES IF NECESSARY DURING TEAR-OUT AT PENETRATIONS.

KEYED NOTES

- DESIGNATED BY: — (#)
1. TAPERED INSULATION CRICKET.
 2. TPO ROOFING SYSTEM AS SPECIFIED ON GYPSUM COVERBOARD OVER MINIMUM R-30 (5.2') POLYISOCYANURATE INSULATION WITH VSH RATING.
 3. ROOF HATCH WITH SAFETY RAILING AND TELESCOPING POST. REFER TO DETAIL 26/A-04.
 4. NEW MECHANICAL UNIT - REFER TO MECHANICAL SHEETS FOR MORE INFORMATION. INSTALL NEW CURBS AND FLASH INTO EXISTING ROOF SYSTEM AS REQUIRED FOR COMPLETE AND PROPER SEAL. INSTALL NEW STRUCTURAL BRACING AS REQUIRED. REFER TO STRUCTURAL DRAWINGS. SEAL ALL PENETRATIONS WITH ROOFING MANUFACTURER'S APPROVED PENETRATION FLASHINGS AND DETAILS. INSTALL INSULATION CRICKET OR FLASHING ON HIGH SIDE TO DIVERT WATER.
 5. TPO WALKWAY AS SPECIFIED. PLACE AT/AROUND UNITS AS NECESSARY TO REACH ALL AREAS OF MAINTENANCE.
 6. ALUCOBOND PANEL SYSTEM AS SPECIFIED.
 7. ALUMINUM ROOF SCREEN AS SPECIFIED. REFER TO STRUCTURAL FOR CONNECTIONS. SET POSTS IN "PITCH PANS" AND SEAL WEATHER TIGHT.
 8. 8"x8" PREFINISHED METAL GUTTER IN METALLIC FINISH. PROVIDE 5"x6" DOWNSPOUTS AT LOCATIONS INDICATED ON THE ELEVATION.
 9. STEEL ROOF LADDER. REFER TO DETAIL 27/A-10.
 10. ROOF DRAIN/OVERFLOW DRAIN AND LINES UNDER ROOF DECK. REFER TO PLUMBING FOR MORE INFORMATION.

CONDRA Y
 DESIGN GROUP
 ARCHITECTURE & INTERIOR DESIGN
 3708 UPLAND AVE.
 LUBBOCK, TX 79407
 806.748.6190
 condray.com

REGISTERED ARCHITECT
 ALAN ROBERTSON
 STATE OF TEXAS
 21110
 02/19/2025

F FINCHER
 ENGINEERING, LLC
 FINCHER ENGINEERING, LLC
 TX FIRM #F-16409
 5621 114TH ST., SUITE 100
 LUBBOCK, TX 79424
 PH: 806-701-5109
 WWW.FINCHERENG.COM

N Nieman Engineering, LLC
 1300 Broadway St., Suite 1210
 Lubbock, Texas 79401
 T: 806-589-3340 TXPE Firm
 Registration No. F-14148

O OJD Engineering, LP
 TX FIRM #F-4393
 328 E. Hwy 62, Unit 1
 LUBBOCK, TX 79382
 PH: 806-791-2300

OLIVER LANDSCAPE
 COMPANY
 LANDSCAPE ARCHITECTURE
 DESIGN & PROJECT IMPLEMENTATION
 THE OLIVER • TX LANDSCAPE ARCHITECT #1134
 616-786-8818 • 4700 W. HOLMES AVE., ARLINGHAM, TX

UNIVERSITY MEDICAL CENTER PHYSICIANS
 NEW WOLFORTH CLINIC
 720 DONALD PRESTON DRIVE
 WOLFORTH, TEXAS 79382

REVISIONS:

1	02/19/2025	Revision 1
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PROJECT NO. 22415
 DATE: 02/06/2025

SHEET NO.
A-04
 4 OF 20