

June 10, 2024

Dawson county APO/JPO office renovation
411 S. First St.
Lamesa, Tx 79331
CHA Project #2401



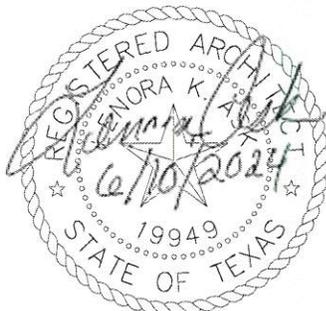
Proposals due June 18th, 2024
Tuesday at 2:00pm

Addendum One

Pre-proposal conference to be held on June 11th at 411 South First St, Lamesa, Tx 79331 at 10 AM.

1. Armstrong tectum ceiling to be provided as shown on basketball court ceiling.
2. Second floor wall shown in conference is in error and not to be constructed.
3. Provide alternate pricing for wall-type H3.1 modified to reflect change from STC60 to STC55- for alternate, omit one later of GWB from each side of wall.
4. All tile base to be Schluter trim as specified.
5. Wall tile on the East wall of breakroom to be provided only at the kitchen backsplash.

End of Addendum One

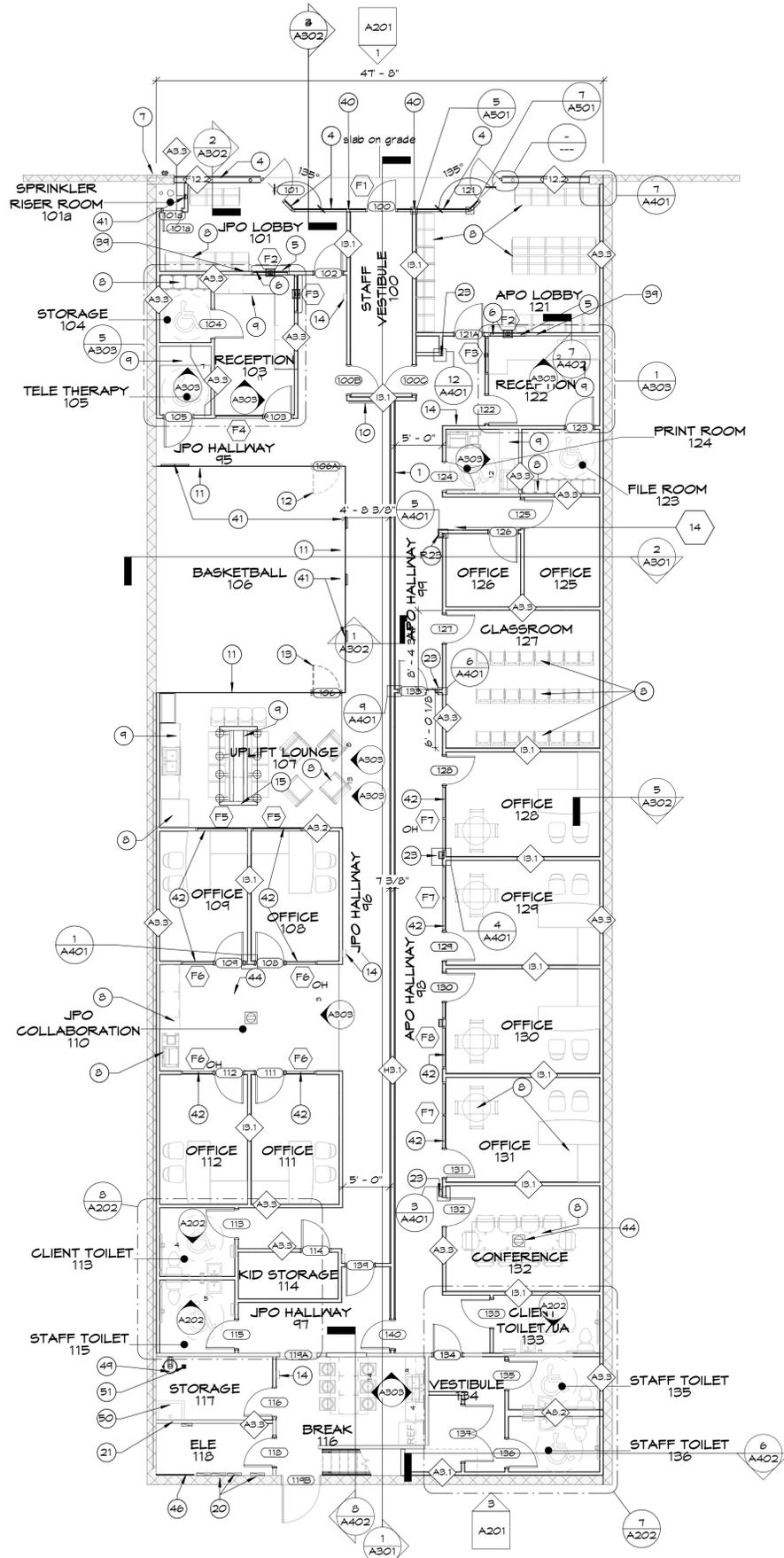


612 Broadway

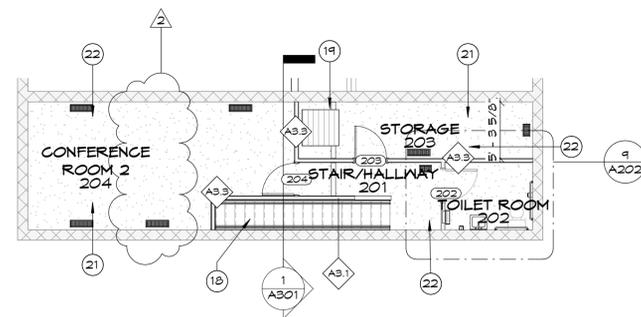
Lubbock, Texas 79401

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1 FIRST FLOOR
1/8" = 1'-0"



2 SECOND FLOOR
1/8" = 1'-0"

- GENERAL RENOVATION NOTES**
- CONTRACTOR IS TO PATCH AND REPAIR ALL EXISTING SURFACES NOT DEMOLISHED WITHIN THE PROJECT AREA; PREPARE ALL NEW AND EXISTING SURFACES FOR NEW WALL FINISHES.
 - WHERE NEW PARTITIONS ALIGN OR BUTT TO EXISTING SURFACES, FINISH JOINTS SMOOTH AND EVEN WITHOUT ANY VISIBLE JOINTS; PATCH AND REPAIR EXISTING SURFACES TO MATCH NEW FINISHES, EXITING IS NOT TO BE OBVIOUS.
 - PROVIDE CONCEALED GROUNDS, MASONRY WALL CLEATS, BACKING, AND BRACING IN PARTITIONS FOR SURFACE MOUNTED MILLWORK AND EQUIPMENT.
 - CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS FOR DOORS AND WINDOWS PRIOR TO ORDERING TO ENSURE A PROPER FIT.
 - FURNITURE AND OFFICE/KITCHEN EQUIPMENT SHOWN ARE FOR FUNCTIONAL PURPOSES ONLY. NO MOVABLE FURNITURE OR OFFICE/KITCHEN EQUIPMENT IN CONTRACT. ALL PROVIDED BY OWNER, UNLESS NOTED OTHERWISE.
 - REFER TO CSS FOR INTERIOR PARTITION TYPES AND TYPICAL INFORMATION.
 - ALL DOORS TO RECEIVE VERTICAL DRYWALL CONTROL JOINTS ON EACH SIDE OF THE FRAME TO 6" ABOVE CEILING.
 - ALL FLOOR TRENCHES FOR SLAB UTILITIES TO BE BACKFILLED AND TAMPED DOWN AND REPAIRED WITH CONCRETE FLUSH WITH EXISTING CONCRETE AND DOUBLED EVERY 36".

#	RENOVATION KEYED NOTES
1	NEW ACOUSTIC RATED WALL - ALL PENETRATIONS TO BE SLEEVED AND CAULKED PER DETAIL.
4	NEW STOREFRONT WITH NEW GRAPHIC FILM TO 7'-0" - REFER TO WINDOW SCHEDULE FOR CONFIGURATION.
5	NEW WINDOW WITH SPEAKER HOLE AND PASSTHROUGH TRAY.
6	PROVIDE BULLET RESISTANT ASSEMBLY AS SPECIFIED.
7	NEW FIRE DEPARTMENT CONNECTION.
8	FURNITURE OR EQUIPMENT BY OWNER - COORDINATE WITH OWNER PROVIDED ITEMS.
9	BUILT IN MILL WORK - REFER TO MILLWORK.
10	NEW 4x4 TACKBOARD.
11	EXISTING BASKETBALL CAGE - PRIME AND PAINT.
12	EXISTING BASKETBALL CAGE GATE TO REMAIN - PRIME AND PAINT.
13	NEW BASKETBALL CAGE GATE - MATCH EXISTING CONSTRUCTIONS WITH EXCEPTION OF BASE RAIL - OMIT BASE RAIL AND ALLOW FOR ACCESSIBLE ACCESS.
14	RECESSED FIRE EXTINGUISHER CABINET AS SPECIFIED.
15	FLOOR OUTLET - REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION - PATCH AND REPAIR CONCRETE FLUSH TO RECEIVE NEW FLOOR FINISH AS SCHEDULED.
16	NEW TREAD AS SPECIFIED ON EXISTING WOOD FRAME STEPS.
19	EXISTING MECHANICAL EQUIPMENT - REFER TO MECHANICAL SHEETS FOR ADDITIONAL INFORMATION.
20	EXISTING ELECTRICAL PANELS - REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
21	PROVIDE COVER BOARD OVER EXISTING WOOD FRAMING TO PREP FOR NEW FLOOR FINISH.
22	NEW FLOOR GRILLS IN EXISTING FLOOR FRAMING - COORDINATE WITH FLOOR FINISH - REFER TO MECHANICAL SHEETS.
23	NEW FURRING AROUND EXISTING COLUMN.
34	THIS WALL TO RECEIVE BULLET RESISTANT FIBERGLASS PANELS ON LOBBY SIDE TO A HEIGHT OF 7'-0". PROVIDE HORIZONTAL.
40	PROVIDE BRAKE METAL END GAP AND SEALED EDGES AT STOREFRONT/WALL CONNECTION.
41	SIDEWALL MOUNTED AIR TERMINAL.
42	ROLLERSHADE TO BE INSTALLED FOR ALL OFFICE WINDOWS - TYPICAL.
44	FLUSH FLOOR MOUNTED J-BOX AND DEVICES TO BE EQUAL TO WIREMOLD NO. 880CS2-1 WITH 828 TGA FLANGE, (1) 828R-TGAAL, & (1) 828C-TGAAL COVERPLATES.
46	3/4" X 4" X 8' FLYWOOD COMMUNICATIONS BACKBOARD. EXTEND A 2" CONDUIT FROM BACKBOARD TO THE BUILDING EXTERIOR FOR SERVICE PROVIDER.
49	NEW WATER HEATER - REFER TO SHEET P101.
50	NEW MOP SINK - REFER TO SHEET P101.
51	NEW FLOOR SINK - REFER TO SHEET P101 - PATCH AND REPAIR TRENCH WITH NEW CONCRETE FLUSH.

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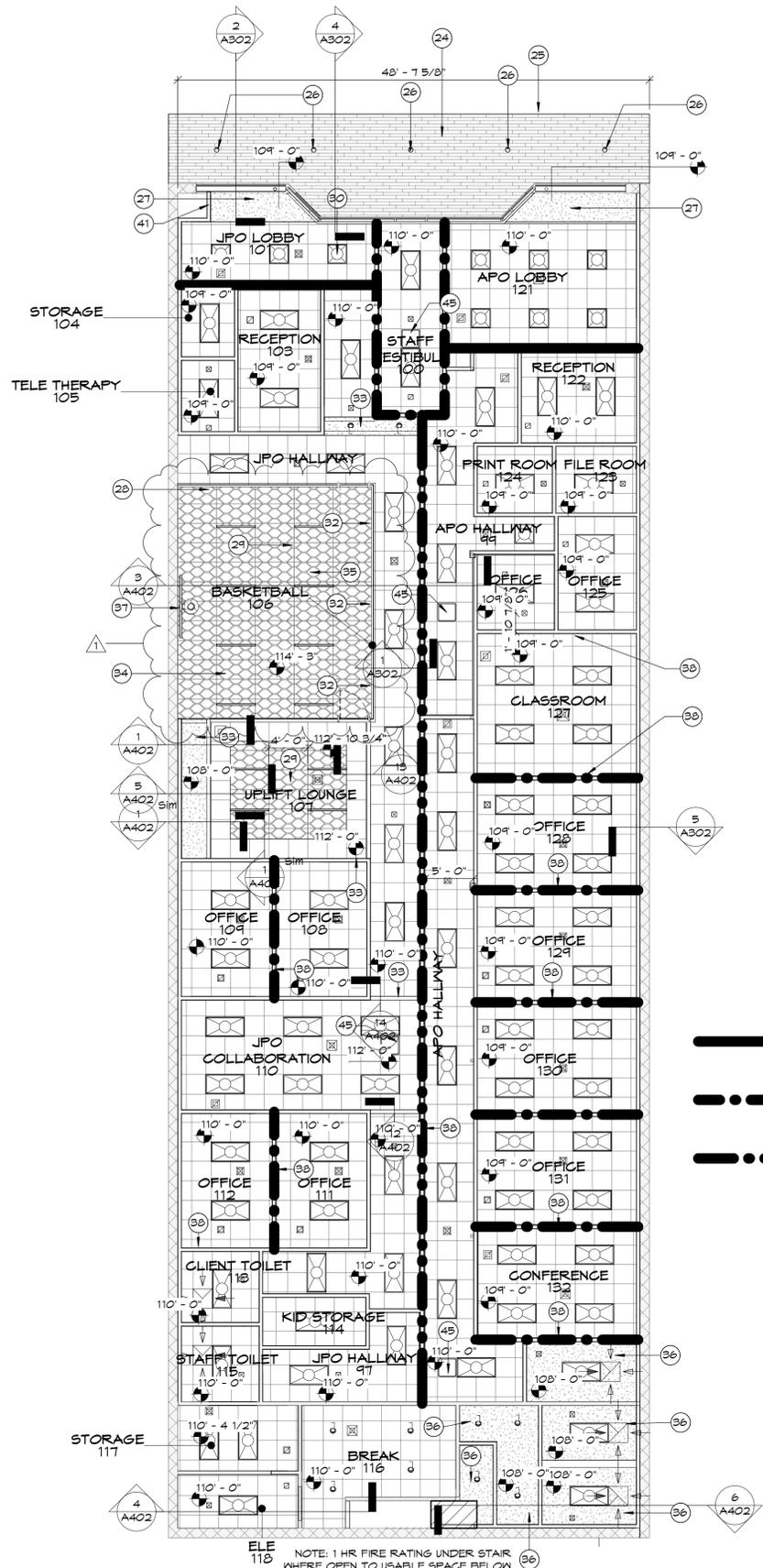
DAWSON COUNTY
APO/JPO RENOVATION
 411 SOUTH FIRST ST
 LAMESA, TX 79331

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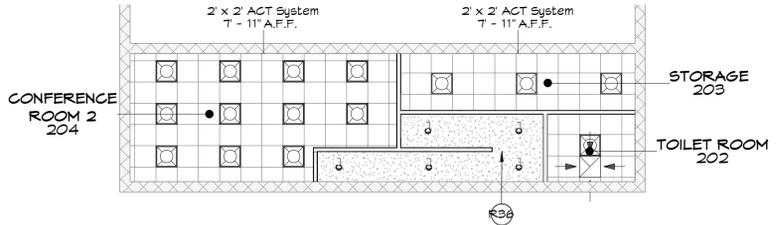
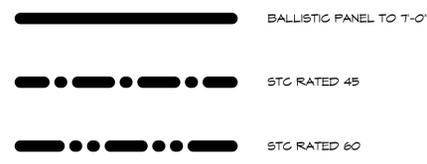
DATE: 05.29.24
JOB: 2401

#	DATE	DESCRIPTION
1	06/10/2024	ADDENDUM 01 Item 02





1 REFLECTED CEILING PLAN - LEVEL 1
1/8" = 1'-0"



2 REFLECTED CEILING PLAN - LEVEL 2
1/8" = 1'-0"

- GENERAL REFLECTED CEILING PLAN NOTES**
- REFER TO FINISH SCHEDULE FOR CEILING HEIGHTS.
 - ALL CEILING HEIGHTS AND FURR-DOWNS ARE BASED ON THE PRELIMINARY ENGINEERING OF THE BUILDING'S STRUCTURE. IF FINAL ENGINEERING DIFFERS FROM DESIGN ASSUMPTIONS, CEILING HEIGHTS AND FURR-DOWNS MAY REQUIRE ADJUSTMENT.
 - CONTRACTOR IS TO VERIFY AVAILABILITY OF ABOVE CEILING SPACE AND COORDINATE INSTALLATION OF DUCTWORK AND RECESSED LIGHTING FIXTURES WITH EXISTING STRUCTURE.
 - COORDINATE HVAC GRILLES WITH CEILING GRID AND LIGHT FIXTURES.
 - INSTALL PERIMETER ANGLE TIGHT TO PARTITIONS, FREE FROM CURVES, BREAKS, AND OTHER IRREGULARITIES; PROVIDE CONTINUOUS SEALANT ALONG PERIMETER OF CEILING GRID AND WALL INTERSECTION.
 - WHERE ACOUSTICAL TILES ARE REQUIRED TO BE CUT, CUT THE TILES TO MAINTAIN A SHARP AND NEAT EDGE.
 - PROVIDE AND INSTALL ADDITIONAL BRACING AND SUPPORT TO THE CEILING GRID AS REQUIRED AT ALL EXTERIOR ENTRANCES AND WINDOW OPENINGS.
 - APPLY WATER RESISTANT GWB TO CEILING AND PARTITION WALLS IN ALL WET AREAS, TYPICAL.
 - CONTRACTOR IS TO COORDINATE THE REMOVAL AND REPLACEMENT OF ALL CEILING EQUIPMENT WITH ELECTRICAL AND MECHANICAL DRAWINGS.
 - PROVIDE EXIT SIGNS AND EMERGENCY LIGHT FIXTURES AS NOTED ON THE ELECTRICAL SHEETS.
 - INSTALL NEW SPRINKLER HEADS AND LIGHT FIXTURES AT THE CENTER OF THE ACOUSTICAL CEILING TILES.
 - CONTRACTOR TO PERMANENTLY IDENTIFY WITH RED STENCILED 3-INCH HIGH LETTERING BOTH SIDES OF ALL EXISTING AND NEW FIRE-RATED WALLS WITHIN THE PROJECT AREA. IDENTIFICATION TO BE LOCATED ON THE FIRE-RATED WALL/PARTITION ABOVE CEILING AND AT EXPOSED AREAS (SUCH AS MECHANICAL AND ELECTRICAL EQUIPMENT ROOMS), ON 10-FOOT INTERVALS AND AS HIGH AS POSSIBLE AND STILL VISIBLE FROM THE FINISHED FLOOR. INCLUDE WORDING "FIRE WALL".
 - SEE DIMENSIONED PLANS AND CBS FOR WALL CONSTRUCTION AND RATINGS.

R#	RENOVATION KEYED NOTES
24	NEW ALUMINUM WOOD LOCK SOFFIT.
25	NEW METAL FASCIA WRAP.
26	NEW RECESSED CAN LIGHT.
27	EXISTING DRYWALL SOFFIT REPAIR AS REQUIRED AND PREPARE FOR NEW FINISH.
28	EXISTING FURRING WITH TIN FINISH TO REMAIN.
29	NEW TECTUM CEILING AS SPECIFIED.
30	NEW LIGHT FIXTURE - REFER TO ELECTRICAL FOR INFORMATION.
32	NEW MECHANICAL SIDEWALL GRILL.
33	NEW GWB FURR DOWN - TAPE, TEXTURE, PRIME, AND PAINT.
34	SIDEWALL FIRE SPRINKLER HEADS IN THIS AREA.
35	AVOID ANY SPRINKLER PIPING ACROSS THIS AREA.
36	GWB CEILING.
37	EXISTING BASKETBALL TO REMAIN.
38	WALL CONSTRUCTED TO DECK.
41	SIDEWALL MOUNTED AIR TERMINAL.
45	CEILING MOUNTED RECEPTACLE TO SERVE WI-FI ACCESS POINT. VERIFY EXACT REQUIREMENTS AND LOCATIONS WITH OWNER PRIOR TO ROUGH-IN.

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REVISIONS

#	DATE	DESCRIPTION
1	06/10/24	Addendum 01 Item 01



sheet
A105
of ***A5***
one inch