

August 12, 2024

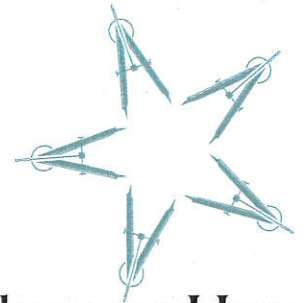
Dawson county APO/JPO office renovation
411 S. First St.
Lamesa, Tx 79331
CHA Project #2401

Proposals due September 13th, 2024****
Tuesday at 4:30 PM

Addendum Two

1. Original contract documents were for a JOC. The County has now opted to competitively bid the project. The front end documents of the specifications have been revised to reflect this change and the specifications previously uploaded have been replaced by the new version.
2. Pre-bid meeting to now be held on Tuesday, August 20 at 2:00PM at the project site.
3. Drawings revising toilet rooms to meet TAS requirements are attached to this addendum and are to become part of the contract documents. Changes require reversing the swing of doors and move of lavatories to provide required 5'-0" clearance at water closets. Contractor to coordinate these changes with the plumbing drawings.

End of Addendum Two



ChapmanHarvey
ARCHITECTS, INC.



612 Broadway

Lubbock, Texas 79401

806.749.1153 fax 749.1866

architect@chapmanharvey.com

This drawing and all prints of it are the property of Chapman Harvey Architects, Inc. Reproductions of these drawings without the written consent of Chapman Harvey Architects, Inc. is not permitted, and Chapman Harvey Architects, Inc. retains all common law and statutory and other reserved rights, including the copyright.

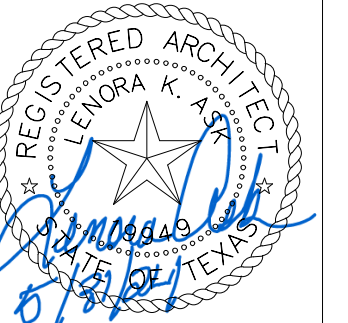
DATE: 05.29.24

JOB: 2401

REVISIONS

DATE DESCRIPTION

1 08/12/2024 Addendum 02 Item 01



sheet

A000

of *A5*

one inch

REFERENCED CODES

IBC 2012 AS ADOPTED
 IBC 2012 ENERGY CODE AS ADOPTED

IBC REQUIREMENTS

ALLOWABLE STORIES ABOVE GRADE - 3 (TABLE 503)

OCCUPANCY

PROPOSED OCCUPANCY - B

CONSTRUCTION TYPE - TYPE V-B

ALLOWABLE AREA - 9000 SF (TABLE 503)
 EXISTING SQUARE FOOTAGE - 7074 SF
 FRONTAGE INCREASE FACTOR (IF) = NOT USED

SEPARATION REQUIRED - NO SEPARATION REQUIREMENT (TABLE 508.4)

FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601)
 TYPE IIIb PRIMARY STRUCTURAL FRAME - 0 HRS
 BEARING WALLS (NA) - 2 HRS
 NON BEARING WALLS - 1 HRS
 FLOOR CONSTRUCTION - 0 HRS
 ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS - 0 HRS

FIRE SPRINKLER
 SPRINKLER SYSTEM WILL BE PROVIDED

FIRE EXTINGUISHERS (906)
 MINIMUM RATED SINGLE EXTINGUISHER - 2-A
 MAX FLOOR AREA PER UNIT OF A - 3000 SF
 MAX FLOOR AREA FOR EXTINGUISHER - 11250 SF
 MAX TRAVEL - 75 F

FIRE ALARM - MANUAL FIRE ALARM BOX NOT REQUIRED (907.2.2)

CHAPTER 10 MEANS OF EGRESS

OCCUPANT LOAD (1004)
 (SEE TABLE 1004.1.2)

NUMBER OF EXITS REQUIRED (1021.2, 1006.3.1)
 2 REQUIRED, 2 PROVIDED

EGRESS WIDTH (1005.3.2)
 .2' PER PERSON = 13"
 PROVIDED = 56 3/8"

COMMON PATH OF EGRESS (1006.2.1)
 B WITH SPRINKLER SYSTEM = 100'

TRAVEL DISTANCE (TABLE 1016.2)
 B 200' 5

CORRIDOR RATING (TABLE 1018.1)
 B>30 0 HR S WITH SPRINKLER SYSTEM

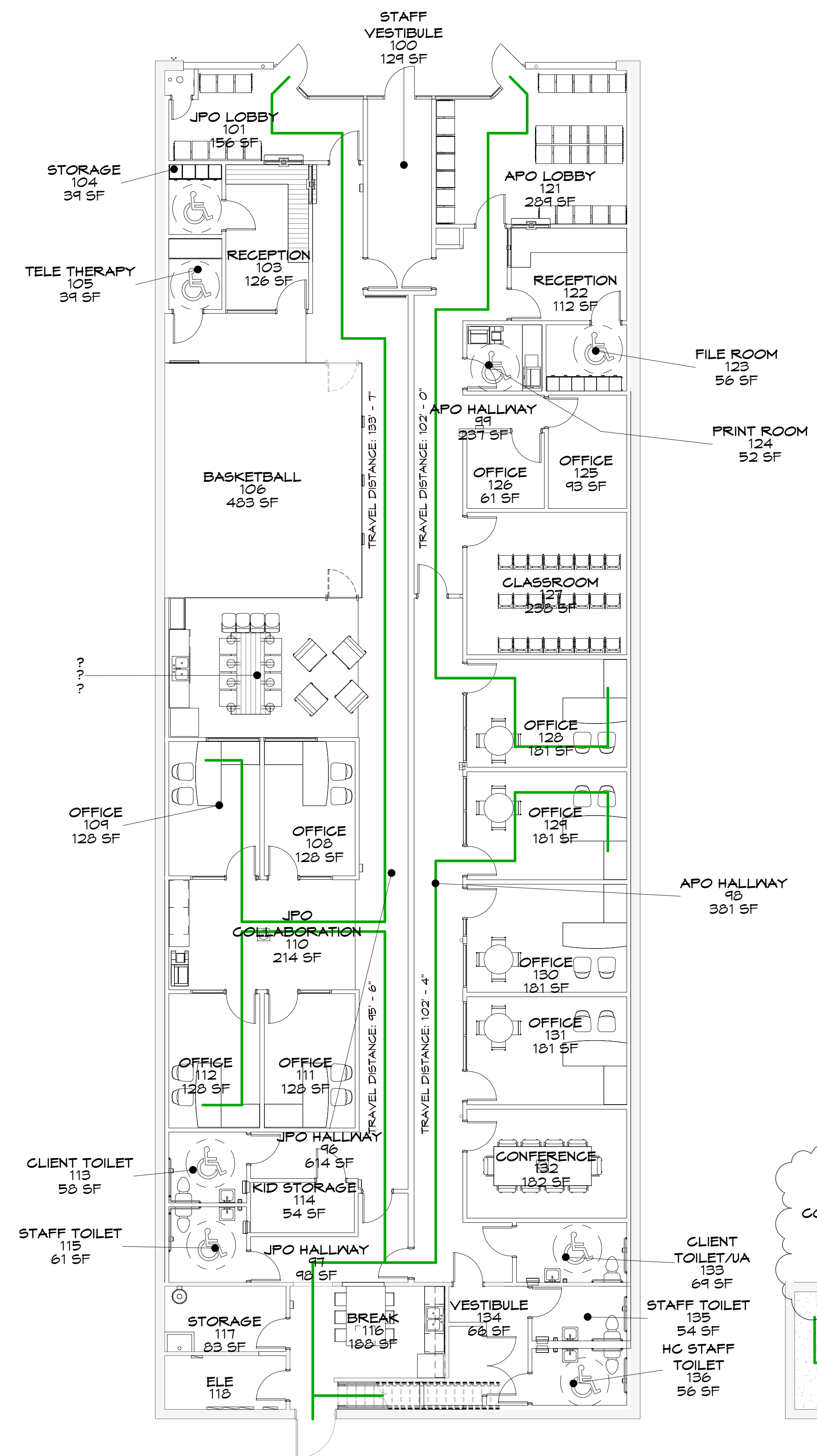
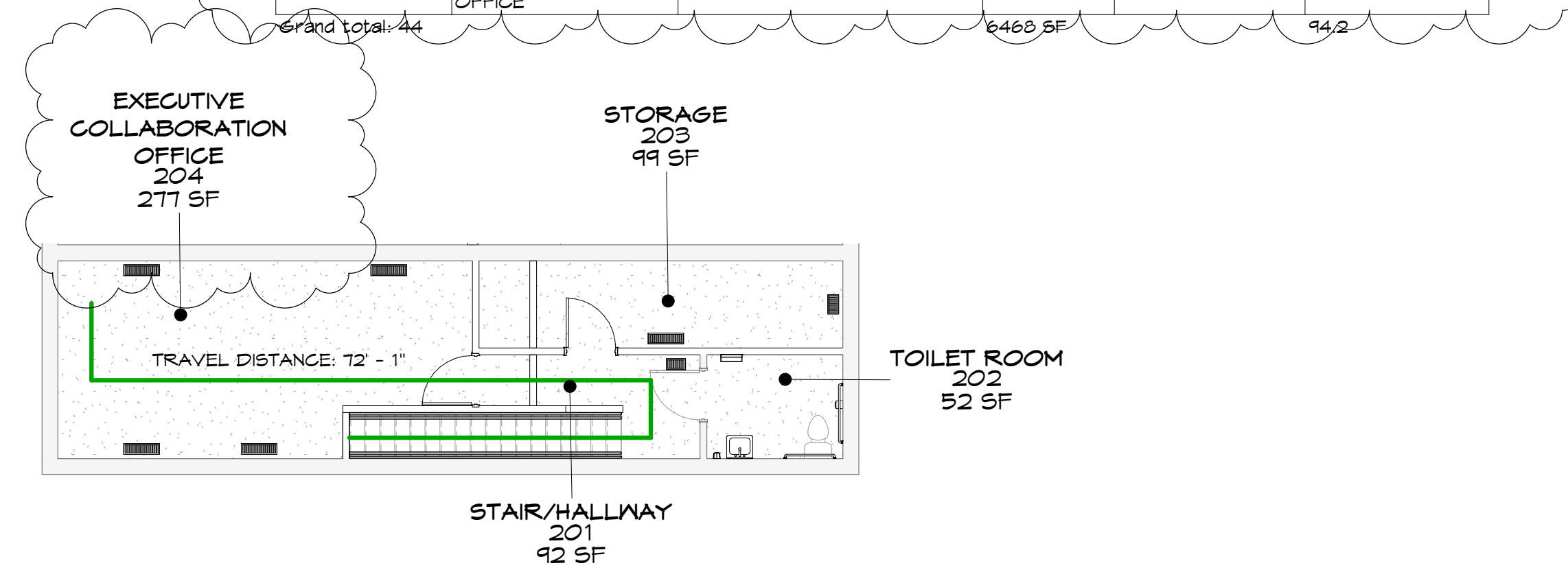
MINIMUM CORRIDOR WIDTH (TABLE 1018.2)
 44"

DEAD ENDS (1020.4)
 50'-0" 5

PLUMBING (TABLE 2902.1)
 B TOTAL OCCUPANTS 65
 WC 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINING. 2 REQUIRED: 6 PROVIDED
 LAV 1 PER 40 AND 1 PER 80 FOR THE REMAINING. 2 REQUIRED: 6 PROVIDED

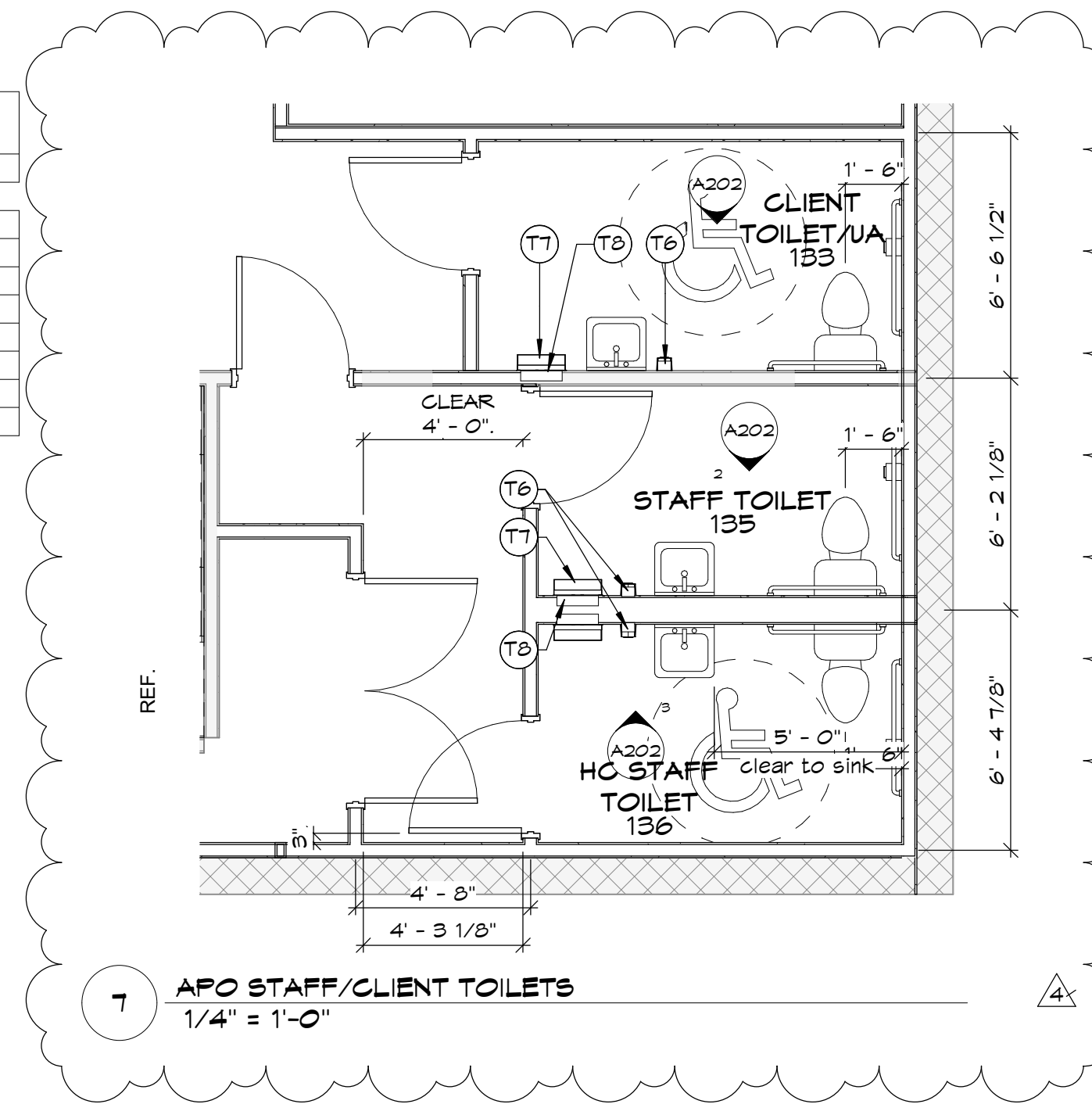
MOP SINK (TABLE 2902.1)
 B 1 REQUIRED: 1 PROVIDED

OCCUPANT LOAD BY SPACE					
ROOM NUMBER	ROOM NAME	OCC CLASSIFICATION	AREA	OCCUPANCY FACTOR	OCCUPANT LOAD
95	JPO HALLWAY	BUSINESS	79 SF	150 SF	0.5
96	JPO HALLWAY	BUSINESS	614 SF	150 SF	4.1
97	JPO HALLWAY	BUSINESS	98 SF	150 SF	0.7
98	APO HALLWAY	BUSINESS	301 SF	150 SF	2.5
99	APO HALLWAY	BUSINESS	237 SF	150 SF	1.6
100	STAFF VESTIBULE	ASSEMBLY	129 SF	15 SF	8.6
101	JPO LOBBY	ASSEMBLY	156 SF	15 SF	10.4
101a	SPRINKLER RISER ROOM	ACCESSORY	8 SF	300 SF	0
103	RECEPTION	ASSEMBLY	126 SF	150 SF	0.8
104	STORAGE	ACCESSORY	39 SF	300 SF	0.1
105	TELE THERAPY	BUSINESS	39 SF	150 SF	0.3
106	BASKETBALL	EXERCISE ROOMS	483 SF	50 SF	9.7
107	UPLIFT LOUNGE	BUSINESS	273 SF	150 SF	1.8
109	OFFICE	BUSINESS	128 SF	150 SF	0.9
109	OFFICE	BUSINESS	128 SF	150 SF	0.9
110	JPO COLLABORATION	BUSINESS	214 SF	150 SF	1.4
111	OFFICE	BUSINESS	128 SF	150 SF	0.9
112	OFFICE	BUSINESS	128 SF	150 SF	0.9
113	CLIENT TOILET	BUSINESS	58 SF	150 SF	0.4
114	KID STORAGE	ACCESSORY	54 SF	300 SF	0.2
115	STAFF TOILET	BUSINESS	61 SF	150 SF	0.4
116	BREAK	BUSINESS	188 SF	150 SF	1.3
117	STORAGE	ACCESSORY	83 SF	300 SF	0.3
118	ELE	ACCESSORY	68 SF	300 SF	0.2
121	APO LOBBY	ASSEMBLY	289 SF	15 SF	19.2
122	RECEPTION	BUSINESS	112 SF	150 SF	0.7
123	FILE ROOM	BUSINESS	56 SF	150 SF	0.4
124	PRINT ROOM	BUSINESS	52 SF	150 SF	0.3
125	OFFICE	BUSINESS	93 SF	150 SF	0.6
126	OFFICE	BUSINESS	61 SF	150 SF	0.4
127	CLASSROOM	BUSINESS	238 SF	150 SF	1.6
128	OFFICE	BUSINESS	181 SF	150 SF	1.2
129	OFFICE	BUSINESS	181 SF	150 SF	1.2
130	OFFICE	BUSINESS	181 SF	150 SF	1.2
131	OFFICE	BUSINESS	181 SF	150 SF	1.2
132	CONFERENCE	ASSEMBLY - CONCENTRATED	182 SF	15 SF	12.1
133	CLIENT TOILET/UA	BUSINESS	64 SF	300 SF	0.2
134	VESTIBULE	ACCESSORY	68 SF	300 SF	0.2
135	STAFF TOILET	BUSINESS	54 SF	150 SF	0.4
136	HC STAFF TOILET	BUSINESS	56 SF	150 SF	0.4
201	STAIR/HALLWAY	BUSINESS	92 SF	150 SF	0.6
202	TOILET ROOM	BUSINESS	52 SF	150 SF	0.3
203	STORAGE	ACCESSORY	99 SF	300 SF	0.3
204	EXECUTIVE COLLABORATION OFFICE	BUSINESS	277 SF	100 SF	2.8
Grand Total: 44			6468 SF	94.2	



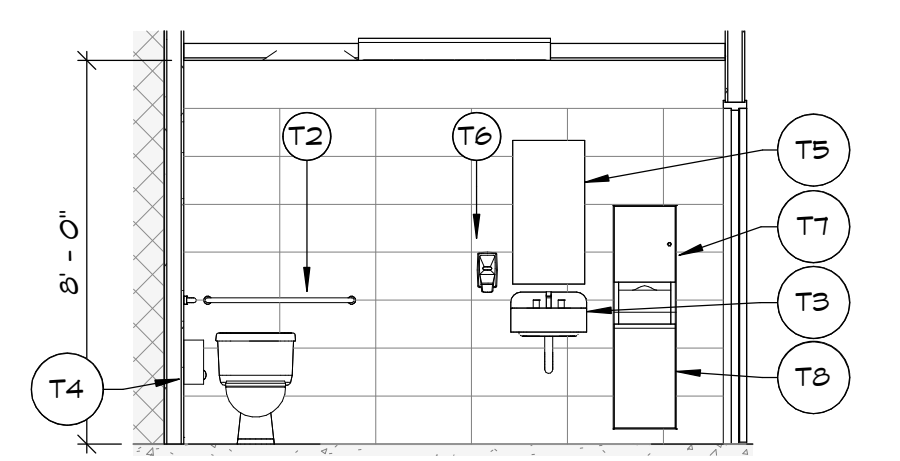
1 MEANS OF EGRESS
 1/8" = 1'-0"

TOILET ROOM KEYNOTE LEGEND	
Key Value	Keynote Text
T1	HC TOILET SIGN - UNISEX.
T2	NEW GRAB BARS AS SPECIFIED-PROVIDE CONCEALED GROUNDS FOR INSTALLATION.
T3	HC FIXTURE - REFER TO PLUMBING FIXTURE SCHEDULE.
T4	NEW TOILET PAPER DISPENSER OWNER-PROVIDED, CONTRACTOR INSTALLED.
T5	NEW MIRROR AS SPECIFIED.
T6	NEW SOAP DISPENSER-OWNER PROVIDED, CONTRACTOR INSTALLED.
T7	NEW PAPER DISPENSER-OWNER PROVIDED, CONTRACTOR INSTALLED.
T8	NEW RECESSED GARBAGE RECEPTACLE AS SPECIFIED.

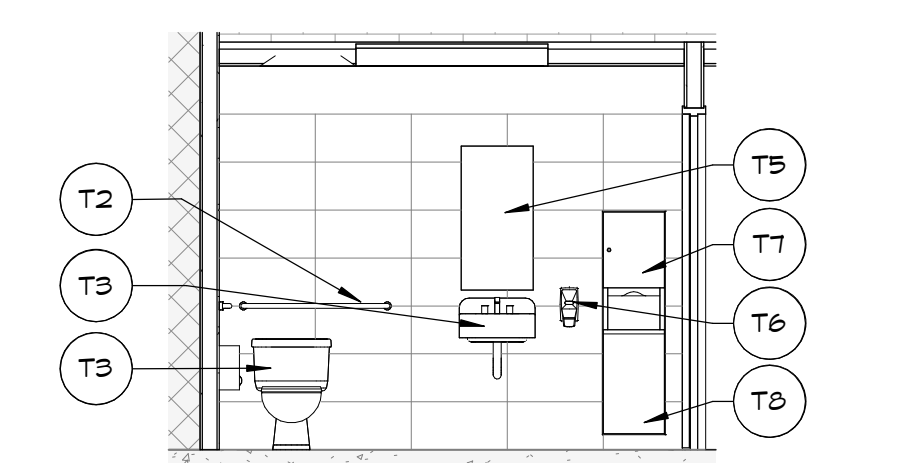


7 APO STAFF/CLIENT TOILETS
1/4" = 1'-0"

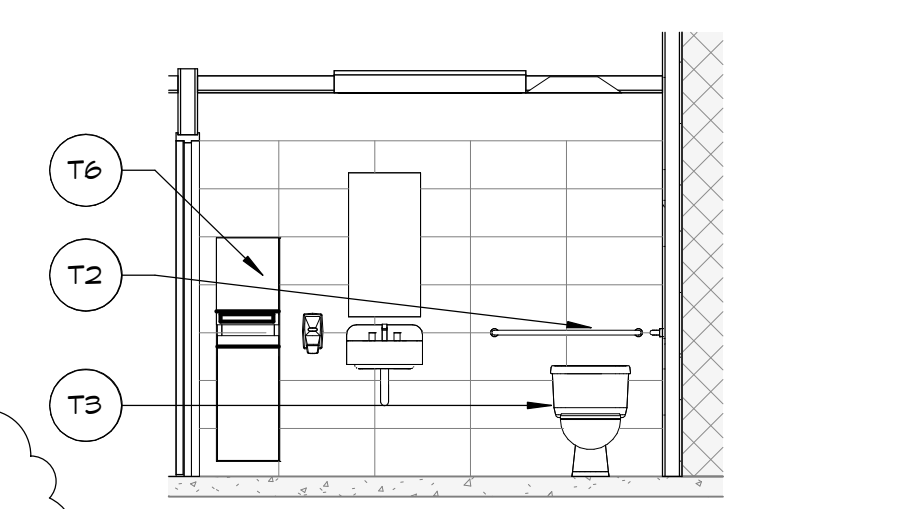
REVISION 2 TO TOILET ROOMS TO MEET TAS REQUIREMENTS - THIS LAYOUT SUPERCEDES PLUMBING LAYOUT.



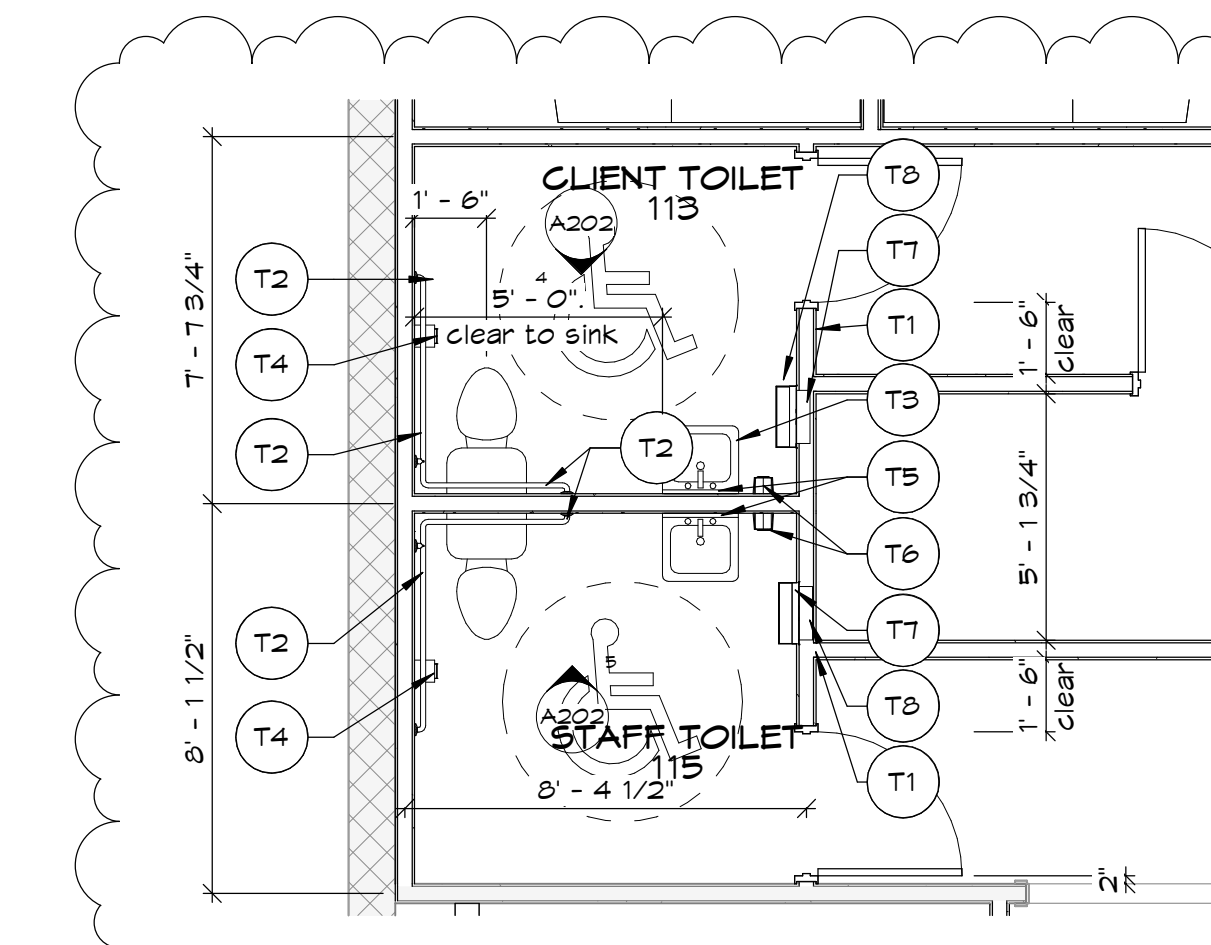
1 APO CLIENT TOILET/UA
1/4" = 1'-0"



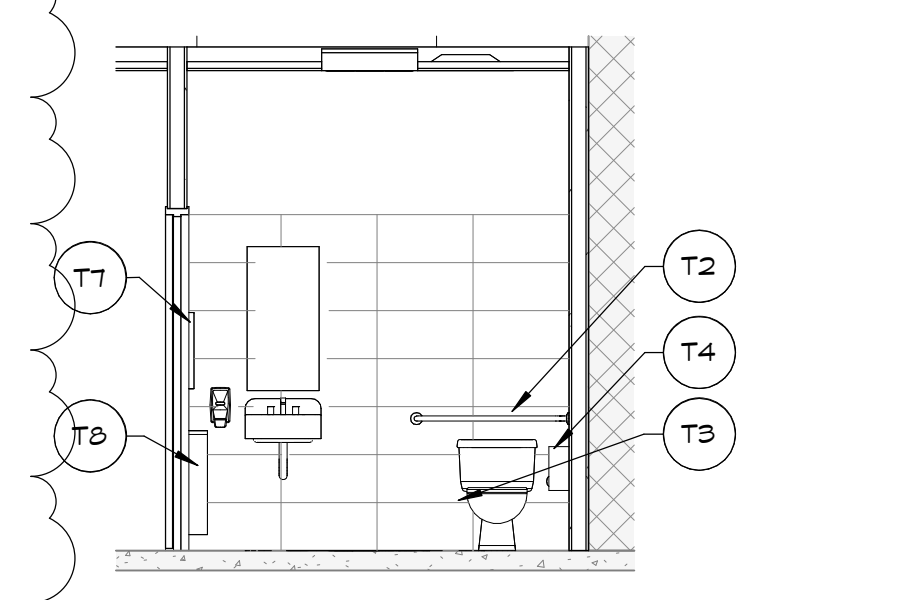
2 APO STAFF TOILET O1
1/4" = 1'-0"



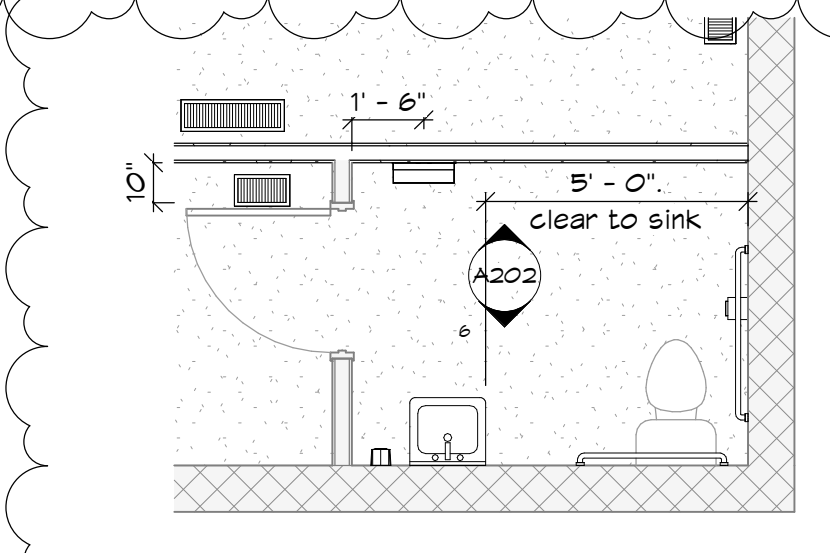
3 APO STAFF TOILET O2
1/4" = 1'-0"



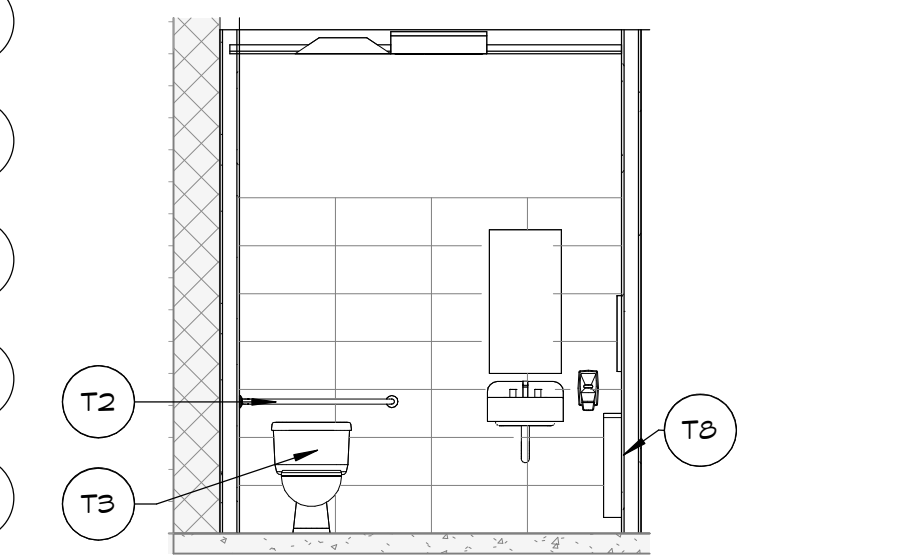
8 JPO STAFF/CLIENT TOILET
1/4" = 1'-0"



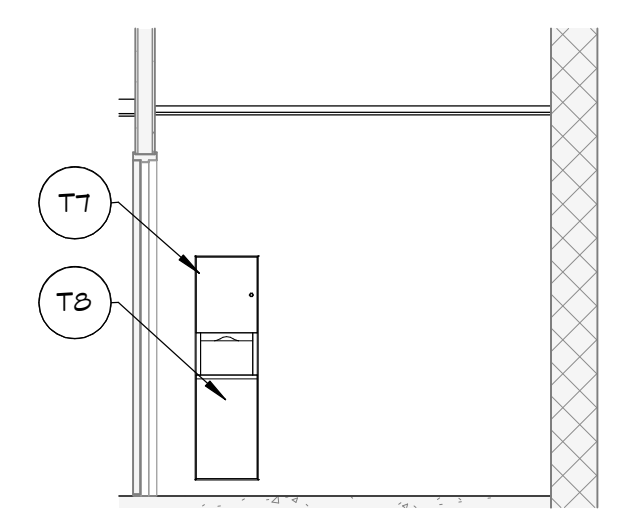
4 JPO CLIENT TOILET
1/4" = 1'-0"



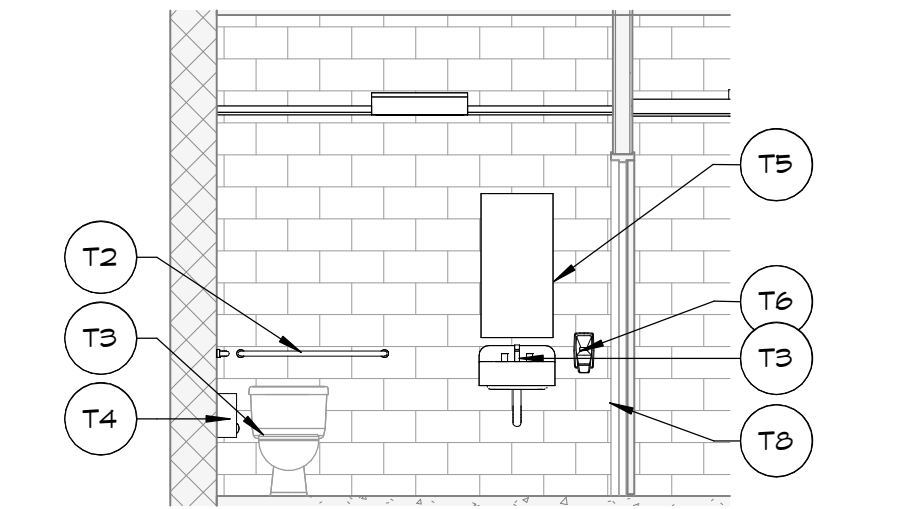
9 SECOND FLOOR TOILET ROOM
1/4" = 1'-0"



5 JPO STAFF TOILET
1/4" = 1'-0"



10 SECOND FLOOR RESTROOM O2
1/4" = 1'-0"

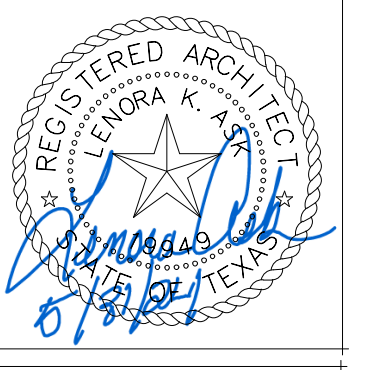


6 SECOND FLOOR RESTROOM
1/4" = 1'-0"

This drawing and all prints of it are the property of Chapman Harvey Architects, Inc. Reproductions of these drawings without the written consent of Chapman Harvey Architects, Inc. is not permitted, and Chapman Harvey Architects, Inc. retains all common law and statutory and other reserved rights, including the copyright.

DATE: 05.29.24
JOB: 2401

#	DATE	DESCRIPTION
1	08/12/2024	Addendum 02 Item 01



C:\Users\kharvey\Documents\Dawson County APO-JPO Renovation_CENTRAL_Lamesa\A202.rvt